NOTICE OF THE REGULAR VILLAGE BOARD MEETING

The regular meeting of the Village Board is scheduled for Tuesday, June 1, 2021 beginning at 7:30 p.m.

A copy of the agenda for this meeting is attached hereto and can be found at www.tinleypark.org.

NOTICE - MEETING MODIFICATION DUE TO COVID-19

Pursuant to Governor Pritzker's Executive Order 2020-07, Executive Order 2020-10, Executive Order 2020-18, Executive Order 2020-32, Executive Order 2020-33, Executive Order 2020-39, and Executive Order 2020-44, which collectively suspends the Illinois Open Meetings Act requirements regarding in-person attendance by members of a public body during the duration of the Gubernatorial Disaster Proclamation, issued on June 26, 2020, the members of the Village Board may be participating in the meeting through teleconference.

A livestream of the electronic meeting will be broadcasted at Village Hall. Pursuant to Governor's Executive Order No. 2020-43 and CDC guidelines, no more than 50 people or 50% of the maximum capacity will be allowed in the Council Chambers at any one time, so long as attendees comply with social distancing guidelines. Anyone in excess of maximum limit will be asked to wait in another room with live feed to the meeting until the agenda item for which the person or persons would like to speak on is being discussed or until the open floor for public comments.

Meetings are open to the public, but members of the public may continue to submit their public comments or requests to speak telephonically in advance of the meeting to clerksoffice@tinleypark.org or place requests in the Drop Box at the Village Hall by noon on June 1, 2021. Please note, written comments will not be read aloud during the meeting. A copy of the Village's Temporary Public Participation Rules & Procedures is attached to this Notice.

Kristin A. Thirion Clerk Village of Tinley Park

VILLAGE OF TINLEY PARK TEMPORARY PUBLIC PARTICIPATION RULES & PROCEDURES

As stated in Gubernatorial Executive Order 2020-07 issued on March 16, 2020 and Gubernatorial Executive Order 2020-10 issued on March 20, 2020, both extended by Gubernatorial Executive Order 2020-18 issued on April 1, 2020, all public gatherings of more than ten people are prohibited. In-person public participation is not defined as an essential activity.

The Mayor of Tinley Park is issuing the following rules for all Village Board and other public meetings in order to promote social distancing as required by the aforementioned Executive Orders and the requirements of the Open Meetings Act:

Written Comments

After publication of the agenda, email comments to clerksoffice@tinleypark.org. When providing written comments to be included as public participation at a public meeting, clearly identify the following in the subject line:

- The date of the meeting;
- The type of meeting for the written comments (e.g. Village Board meeting, Zoning Board of Appeals meeting, Plan Commission meeting, etc.);
- Name and any other identifying information the participant wishes to convey to the public body;
- The category of public participation (e.g., Receive Comments from the Public, Agenda Items, etc.);
- For specific Agenda Items, identify and include the specific agenda item number;
- The entire content of the comments will be subject to public release. The Village of Tinley Park is under no obligation to redact any information.

The contents of all comments will be provided to the relevant public body for their review. Written comments will not be read aloud during the meeting. If you wish to publicly address the public body, you may request to participate via teleconference as described below.

Comments must be submitted by 12:00 pm on the day of the meeting. However, it is strongly recommended that comments be emailed not less than twenty-four (24) hours prior to the meeting so the appropriate Board members, Commissioners, Board members, and Committee members have sufficient time to review the comments prior to the meeting.

Live Public Participation During Meeting

After publication of the agenda, those wishing to participate in a live telephone call option at a public meeting must register by 12:00 pm on the day of the meeting. A Village representative will call the participant at the relevant portion of the meeting and the participant will be allowed to participate telephonically at the meeting. To participate in a live telephone call during the meeting, a request shall be submitted by email to clerksoffice@tinleypark.org. The following information must be included the subject line:

- The date of the meeting;
- The type of meeting for the written comments (e.g. Village Board meeting, Zoning Board of Appeals meeting, Plan Commission meeting, etc.);
- Name and any other identifying information the participant wishes to convey to the public body;
- The category of public participation (e.g., Receive Comments from the Public, Agenda Items, etc.); and
- For specific Agenda Items, identify and include the specific agenda item number.

If the participant provides an email address, they will receive a confirmation email that their request has been logged. If the participant provides an email address and does not receive a confirmation email, they may call (708) 444-5000 during regular business hours to confirm the application was received.

Upon successful registration, the participant's name will be placed on an internal Village list. On the date and during relevant portion of the meeting, the participant will be called by a Village representative. The Village representative will call the provided telephone number and allow the phone to ring not more than four (4) times. If the call is not answered within those four (4) rings, the call will be terminated and the Village representative will call the next participant on the list.

The public comment should be presented in a manner as if the participant is in attendance at the meeting. At the start of the call, the participant should provide their name and any other information the participant wishes to convey. For comments regarding Agenda Items, identify and include the specific agenda item number. The participant should try to address all comments to the public body as a whole and not to any member thereof. Repetitive comments are discouraged. The total comment time for any single participant is three (3) minutes. Further time up to an additional three (3) minutes may be granted by motion. A participant may not give his or her allotted minutes to another participant to increase that person's allotted time.

MEETING NOTICE

NOTICE IS HEREBY GIVEN that the Regular Meeting of the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois will be held on Tuesday, June 1, 2021, beginning at 7:30 PM in the Council Chambers at the Village Hall of Tinley Park, 16250 South Oak Park Avenue, Tinley Park, Illinois.

7:30 PM	CALL TO ORDER
	PLEDGE OF ALLEGIANCE
	ROLL CALL
ITEM #1 SUBJECT:	CONSIDER APPROVAL OF AGENDA
ACTION:	Discussion - Consider approval of agenda as written or amended.
COMMENTS:	
ITEM #2 SUBJECT:	CONSIDER APPROVAL OF MINUTES OF THE REGULAR VILLAGE BOARD MEETING HELD ON MAY 18, 2021.
ACTION:	Discussion: Consider approval of minutes as written or amended.
COMMENTS:	
ITEM #3 SUBJECT:	CONSIDER RECOGNIZING NAELA YASIN AND MARY KASPER FOR LIFE SAVING ACTIONS ON MAY 22, 2021 - Trustee Sullivan
ACTION:	Discussion: On Saturday, May 22, 2021, at the Victor J. Andrew High School Graduation Ceremony, Naela Yasin and Mary Kasper responded to a woman who became unresponsive and unconscious. Naela and Mary, who are both nurses at Palos Hospital, sprang into action and started CPR immediately. Thankfully, the woman eventually regained consciousness and was taken to Palos Hospital. Later that evening she was listed in stable condition. The Village Board would like to acknowledge Naela and Mary for their decisive action and in their demonstrating excellence and professionalism in a time of need. No specific action is required.
COMMENTS:	

ITEM #4

SUBJECT: RECEIVE PRESENTATION OF THE TINLEY PARK BUSINESS

SPOTLIGHT - President Glotz

ACTION: Discussion: The following Businesses will be presented:

• Speedy Burrito, 7108 171st Street

• The Odyssey Country Club, 19110 Oak Park Avenue

No specific action required.

COMMENTS:

<u>ITEM #5</u>

SUBJECT: CONSIDER THE FOLLOWING COMMISSION APPOINTMENTS FOR

FISCAL YEAR 2022 - President Glotz

ACTION: Discussion: New members are noted with an asterisk (*).

Civil Service

Martin Gainer, Chair – 1-year term Andre' Ashmore, Jr. - 2-year term

Jim Guth – 3-year term*

Economic Commercial

Jay Walsh, Chair

Dennis Reidy Dino Sanfilippo

Richard Osty

Christine Obbagy

Brian Potter

Chris Shoemaker

Adam Guldan

Chris Schiller

Daniel Fitzgerald*

Emergency Telephone System Board

(ETSB)

Trustee William Brennan

Trustee Colleen Sullivan*

Trustee William Brady

Pat Carr

Matthew Walsh

Steve Klotz*

John Urbanski

Lisa Kortum

Police Pension Board

Raymond Violetto, President

Carl Lindokken - Vice President

Fred Mondt, Secretary

Timothy Ehlers – Asst. Secretary

John Chomiak*

Police Pension Board Continued

Andrew Brown (Ex-officio)

Senior Services

Michael Cutrano, Chair

Robert Hayes

Vicki Hayes

Rosemarie Bauer

Marcia A. Hecht

Phyllis Groberski

Andy Ashmus

Samuel Avalos

Veterans

Doug Rasmussen (William), Chair

Norm Pestlin

Jim Hudik

Karen Tobola

Jimmy Hunter

Georges Sanon

Christine Hansley (AVMRA VFW

Aux.j

Don Tomich (Marine Corp. League

Rep.)

Robert Bullard (Submarine Rep.)

Denise Houdek*

John Houdek*

Ken Wrezzes (Associate)

William McNellis (Ex-Officio – Amer.

Legion, Commander) *

Fred Cagle (Ex-Officio – VFW,

Commander) *

COMMENTS:	
<u>ITEM #6</u>	
SUBJECT:	CONSIDER APPOINTING ALLISON TUGEND TO THE POSITION OF SENIOR FINANCE CLERK - President Glotz
ACTION:	Discussion: Due to a recent retirement, the Finance department has reevaluated the administrative and customer service facing operations resulting in the development of the position of Senior Finance Clerk. Allison Tugend has been identified as the selected internal staff to fill this position. Allison joined the the Village on September 27, 2005, working in the Clerk's Office and Finance Department. Allison has demonstrated outstanding performance while taking on many new responsibilities. Her knowledge of the Village helps her resolve problems quickly and efficiently. Consider appointing Allison Tugend to the position of Senior Finance Clerk, effective June 2, 2021.
COMMENTS:	
ITEM #7	
SUBJECT:	CONSIDER APPOINTING PAMELA VOLANTI TO THE POSITION OF ADMINISTRATIVE ASSISTANT-PUBLIC WORKS - President Glotz
ACTION:	Discussion: The Public Works department has re-evaluated the operational administrative support needs resulting in the development of an Administrative Assistant position. Pamela Volanti has been identified as the selected internal staff to fill this position. Pam joined the Public Works department on September 19, 2018, in a part-time clerical position and has demonstrated tremendous character and work ethic. She has shown the ability to effectively execute her assignments and responsibilities. Pam has proven to be a true asset to both Public Works and the Village of Tinley Park. Prior to joining the Village, she has held various administrative assistant roles and a management position in various industries. Consider appointing Pamela Volanti to the position of Administrative Assistant-Public Works, effective June 2, 2021.
COMMENTS:	

ITEM	#8
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SUBJECT:

CONSIDER APPROVAL OF THE FOLLOWING CONSENT AGENDA ITEMS:

- A. CONSIDER ADOPTING RESOLUTION 2021-R-048 AUTHORIZING THE RENEWAL OF A PROFESSIONAL SERVICES AGREEMENT WITH ALLIANT FOR HEALTH INSURANCE BROKER SERVICES.
- B. CONSIDER A REQUEST FOR A BLOCK PARTY PERMIT ON SATURDAY, JUNE 19, 2021, ON CREEKSIDE AVENUE, BETWEEN 170TH PLACE AND 17000 CREEKSIDE AVENUE FROM 11:00 A.M. TO 10:00 P.M.
- C. CONSIDER PAYMENTS OF OUTSTANDING BILLS IN THE AMOUNT OF \$1,018,809.75 AS LISTED ON THE VENDOR BOARD APPROVAL REPORTS DATED MAY 21, AND MAY 28, 2021.

ACTION: COMMENTS:	Discussion: Consider approval of consent agenda items.
-	
<u>ITEM #9</u> SUBJECT:	CONSIDER ADOPTING ORDINANCE 2021-O-017 GRANTING A
	VARIATION FOR MINIMUM APARTMENT SIZE AT 6732 173RD STREET - Trustee Mueller
ACTION:	Discussion: The Petitioner, George Faycurry, is seeking a variation to permit a 557 sq. ft. one-bedroom multi-family dwelling instead of the minimum requirement of 800 sq. ft.
	The Plan Commission held a Public Hearing on April 1, 2021, and voted 5-1 to recommend approval of the Variation in accordance with the plans, conditions, and Findings of Fact listed in the Staff Report. The Plan Commission included an additional condition that any existing fire code or egress violations be corrected prior to occupancy. This Ordinance is eligible for adoption.
COMMENTS:	

ITEM #10

SUBJECT: CONSIDER ADOPTING RESOLUTION 2021-R-034 AUTHORIZING THE

EXECUTION OF A TAX INCREMENT FINANCING (TIF)

REDEVELOPMENT AGREEMENT WITHIN THE 159TH AND HARLEM TIF DISTRICT BETWEEN THE VILLAGE OF TINLEY PARK AND JMW PROPERTIES, LLC FOR PROPERTY AT 7061- 7063 159th STREET -

Trustee Mueller

ACTION: Discussion: JMW Properties, LLC, is requesting the Village provide

economic assistance to make improvements to their shopping center. The proposed incentive consists of sharing up to \$960,000 of TIF incremental revenue produced by this site alone. The Village proposes to share 75% of the TIF increment produced for a maximum of 10 years to reimburse the eligible costs with conditions outlined in the draft agreement. **This**

Resolution is eligible for adoption.

COMMENTS:

<u>ITEM #11</u>

SUBJECT: CONSIDERING ADOPTING ORDINANCE 2021-O-033 GRANTING A

PARKING VARIATION TO PROPERTY LOCATED AT 17821 80TH AVENUE (THE JUNCTION SHOPPING CENTER) - Trustee Mueller

ACTION: Discussion: Joseph Colucci of Union Bar & Grill (Tenant/Petitioner) has

requested a parking variation in order to construct an outdoor dining patio at their restaurant. The proposal includes the addition of a 900 sq. ft. patio with a

pergola where there is currently parking.

The Plan Commission reviewed the variation at a Special Plan Commission meeting on May 27, 2021, and voted 5-0 to recommend the variation to the

Village Board. This Ordinance is eligible for adoption.

COMMENTS:

ITEM #12

SUBJECT: CONSIDER ADOPTING RESOLUTION 2021-R-043 APPROVING A

CONTRACT BETWEEN THE VILLAGE OF TINLEY PARK AND IROQUOIS PAVING CORPORATION FOR THE FY2022 PAVEMENT MANAGEMENT PROGRAM (PMP) RESURFACING PROGRAM -

Trustee Mahoney

ACTION: Discussion: The project entails approximately 4.8 miles of pavement

improvements which include street resurfacing by heater scarification, Hot Mix Asphalt (HMA) surface removal and replacement, pavement patching, miscellaneous concrete repairs, sidewalk repairs, structure adjustments, pavement striping, and other miscellaneous improvements in order to complete the project. Based on the low bid amount and project budget, additional street improvements will be evaluated and potentially added to the

project.

Consider awarding a contract to Iroquois Paving Corporation in the amount of \$2,287,256.64. This item was considered at the Committee of the Whole meeting held previous to this meeting. **This Resolution is eligible for adoption.**

COMMENTS:	
ITEM #13 SUBJECT:	CONSIDER ADOPTING RESOLUTION 2021-R-044 APPROVING A CONTRACT BETWEEN THE VILLAGE OF TINLEY PARK AND TRAFFIC CONTROL COMPANY FOR THE PAVEMENT STRIPING PROGRAM - FINAL CONTRACT EXTENSION - Trustee Mahoney
ACTION:	Discussion: The Public Works Department, in its role of maintaining our Village-owned streets utilized the pavement striping services of Traffic Control Company the last two years to clean and re-stripe a number of selected streets throughout the Village. Their services total approximately 8.5 miles of roadway striping throughout the Village. This will be the final renewal of the 3 (three) year contract.
	Consider awarding a contract to Traffic Control Company in the amount of \$90,000. This item was considered at a Committee of the Whole meeting held on May 18, 2021. This Resolution is eligible for adoption.
COMMENTS:	
1777M #14	
ITEM #14 SUBJECT:	CONSIDER ADOPTING ORDINANCE 2021-O-030 GRANTING A MAP AMENDMENT (REZONING) FOR PROPERTY LOCATED AT 17120-17126 HARLEM AVENUE TO B-1 NEIGHBORHOOD SHOPPING - Trustee Mueller
ACTION:	Discussion: The Petitioner, Christopher Ilekis, is seeking approval to rezone the property in order to construct a 7,422 sq. ft. multi-tenant commercial building with a Starbucks drive-thru. The project requires the rezoning of the property from R-1 Single Family Residential to B-1 Neighborhood Commercial.
	The Plan Commission held a public hearing on May 27, 2021, and voted 5-0 to recommend approval of the map amendment in accordance with the plans, conditions, and Findings of Fact listed in the Staff Report. This Ordinance is eligible for adoption.
COMMENTS:	

ITEM #15 SUBJECT:	CONSIDER ADOPTING ORDINANCE 2021-O-031 GRANTING A SPECIAL USE PERMIT FOR A PLANNED UNIT DEVELOPMENT LESS THAN 5 ACRES FOR PROPERTY LOCATED AT 17100-17126 HARLEM AVENUE ON BEHALF OF 17118 S. HARLEM TINLEY PARK LLC (D/B/A/ VEQUITY) - Trustee Mueller
ACTION:	Discussion: The Petitioner, Christopher Ilekis, is requesting a Special Use Permit for a Planned Unit Development (PUD) with exceptions over both the new development and the 7-Eleven project immediately adjacent to the north which is currently under construction by the same developer. The PUD allows for a drive-thru use to be permitted as well as a cohesive development pattern, shared access, and shared signage between the developments.
	The Plan Commission held a Public Hearing on May 27, 2021, and voted 5-0 to recommend approval of the Special Use Permit for a Planned Unit Development in accordance with the plans, conditions, and Findings of Fact listed in the staff report. This Ordinance is eligible for adoption.
COMMENTS:	
ITEM #16 SUBJECT:	CONSIDER ADOPTING RESOLUTION 2021-R-041 APPROVING AND ACCEPTING A FINAL PLAT OF SUBDIVISION FOR SOUTHLANDS SECOND CONSOLIDATION - Trustee Mueller
ACTION:	Discussion: The proposed Plat of Subdivision will consolidate two (2) existing lots (1710 and 17126 Harlem Avenue) resulting in a single lot that is .98 acres in size.
	The Plan Commission reviewed the final plat at the May 6 and May 27, 2021, meetings with a recommendation of 5-0 to approve subject to final engineering. This Resolution is eligible for adoption.

COMMENTS:

SUBJECT:

CONSIDER ADOPTING RESOLUTION 2021-R-045 APPROVING A CONTRACT BETWEEN THE VILLAGE OF TINLEY PARK AND SEWER ASSESSMENT SERVICES FOR SMOKE/DYE TESTING AND MANHOLE INSPECTIONS - Trustee Mahoney

ACTION:

Discussion: This project consists of smoke testing sanitary sewers in the areas of the Village considered to be high risk for inflow and infiltration of ground water. Smoke testing helps to identify defects in the sanitary sewers that can allow ground water to infiltrate the sanitary system. The desired work was spelled out in an RFP to seek qualified contractor proposals to perform the testing and inspection of the sanitary sewer system in the areas labeled as high risk for inflow and infiltration. The RFP proposed that the awarded contract would be written for one (1) year, with an option to extend for two (2) years. This will be the third (3rd) and final year of the contract. The services provided for the last two (2) years has met the Village's expectations.

Consider awarding a contract to Sewer Assessment Services in the amount of \$75,321.56. This item was considered at the Committee of the Whole meeting held previous to this meeting. This Resolution is eligible for adoption.

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ITEM #18

SUBJECT:

CONSIDER ADOPTING RESOLUTION 2021-R-046 APPROVING THE PUBLIC WORKS FLEET VEHICLE PURCHASE LIST - Trustee Mahoney

ACTION:

Discussion: Approve the Public Works fleet vehicle purchase list that includes various vehicles with a purchase amount exceeding \$20,000 for each vehicle. Funding is budgeted and available in the approved FY2022 Budget; Capital Fund.

Consider approving Public Works fleet vehicle purchase list in the estimated cost of \$1,819,580. This item was considered at the Committee of the Whole meeting held previous to this meeting. **This Resolution is eligible for adoption.**

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ITEM #19

SUBJECT: CONSIDER ADOPTING ORDINANCE 2021-O-026 AUTHORIZING THE

DISPOSAL OF SURPLUS PERSONAL PROPERTY OWNED BY THE

VILLAGE OF TINLEY PARK – (PUBLIC WORKS FLEET

VEHICLE/EQUIPMENT) - Trustee Mahoney

ACTION: Discussion: Approve the Public Works fleet vehicle/equipment list for

disposal which includes various items valued over \$1,000. The Village uses multiple methods to achieve the highest amount of compensation for its surplus vehicles or equipment. Most items will be sold through Public

Auctions or through salvage and recycling companies.

Consider approving the Public Works fleet vehicle/equipment list for disposal. This item was considered at the Committee of the Whole meeting held previous to this meeting. **This Ordinance is eligible for adoption.**

COMMENTS:

ITEM #20

SUBJECT: CONSIDER ADOPTING ORDINANCE 2021-O-023 APPROVING THE

ANNEXATION OF A PARCEL OF PROPERTY COMMONLY LOCATED

AT 6864 179TH STREET - Trustee Mueller

ACTION: Discussion: The Petitioner, Maria Poulos, has petitioned the Village of Tinley

Park to annex approximately 28,552 sq. ft. of property located at 6864 179th Street in unincorporated Cook County. The annexation will include the

adjacent 179th Street right-of -way. This Ordinance is eligible for adoption.

COMMENTS:

ITEM #21

SUBJECT: CONSIDER ADOPTING ORDINANCE 2021-O-024 GRANTING A MAP

AMENDMENT (REZONING) FOR PROPERTY LOCATED AT 6864 AND 6900 179TH STREET TO R-6 (MEDIUM DENSITY RESIDENTIAL) -

Trustee Mueller

ACTION: Discussion: The Petitioner, Maria Poulos, is requesting to rezone two

properties (6864 and 6900 179th St.) from R-1 (Single Family Residential) to R-6 (Medium Density Residential), to allow for the construction of two

townhome structures with six dwelling units in each building.

The Plan Commission held a Public Hearing on April 15, 2021, and voted 7-0 to recommend approval of the map amendment in accordance with the plans, conditions, and Findings of Fact listed in the Staff Report. **This Ordinance is**

eligible for adoption.

COMMENTS:	
<u>ITEM #22</u>	
SUBJECT:	CONSIDER ADOPTING ORDINANCE NUMBER 2021-O-025 GRANTING A REAR YARD SETBACK VARIATION AT 17870-17881 ARGOS COURT FOR SUNSET ESTATES SUBDIVISION - Trustee Mueller
ACTION:	Discussion: The Petitioner, Maria Poulos, is requesting a variation to permit rear yard setbacks ranging from 13.59 feet to 15.12 feet when a 30-foot rear yard setback is required. This will allow for the construction of two townhome structures in the proposed Sunset Estates Subdivision.
	The Plan Commission held a Public Hearing on April 15, 2021, and voted 7-0 to recommend approval of the Variation in accordance with the plans, conditions, and Findings of Fact listed in the Staff Report. This Ordinance is eligible for adoption.
COMMENTS:	
<u>ITEM #23</u>	
SUBJECT:	CONSIDER ADOPTING RESOLUTION 2021-R-040 APPROVING AND ACCEPTING A FINAL PLAT OF SUBDIVISION FOR SUNSET ESTATES AT 6864 AND 6900 179TH STREET - Trustee Mueller
ACTION:	Discussion: The Petitioner, Maria Poulos, has requested Final Plat approval for the Sunset Estates subdivision for property totaling approximately 49,362 sq. ft.
	The Plan Commission reviewed the Final Plat of Subdivision at the April 15, 2021, meeting with a recommendation of approval conditioned upon final engineering approval with a vote of 7-0. This Resolution is eligible for adoption.
COMMENTS:	

ITEM #24 SUBJECT:	CONSIDER ADOPTING RESOLUTION 2021-R-049 AUTHORIZING THE WITHDRAWAL FROM THE AGREEMENT WITH THE CHICAGO SOUTHLAND CONVENTION & VISITORS BUREAU (CSCVB) - Trustee Brady
ACTION:	Discussion: In 1994 the Village entered into an agreement with the Chicago Southland Convention and Visitor's Bureau to promote tourism and conventions in the south and southwest suburbs. In return the Village has been paying the bureau a portion of its hotel accommodations tax equal to 95% of 1% of that tax. The Village has determined the need to redirect those funds to support a Tinley Park-specific tourism marketing plan. This Resolution gives the bureau 90 days notice per the agreement with the CSCVB. This Resolution is eligible for adoption.
COMMENTS:	
ITEM #25 SUBJECT: ACTION:	CONSIDER ADOPTING RESOLUTION 2021-R-047 AUTHORIZING A PROFESSIONAL SERVICES AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND RORY GROUP, LLC (LOBBYIST) AT A COST OF \$3,000 PER MONTH - Trustee Brady Discussion: The Village seeks to renew the annual retainer agreement with the Village Lobbyist, the Rory Group. Tom Manion and Lucy Anderson have worked
	with the Village since June 1, 2019, on state issues including the Tinley Park Mental Health Center and county issues including helping the Village receive \$600,000 in grants to help reconstruct county roads. They also have worked with the Village on other development issues and in trying to acquire state capital projects. The fees will remain the same at \$3,000 per month. This Resolution is eligible for adoption.
COMMENTS:	
ITEM #26	RECEIVE COMMENTS FROM STAFF -
	RECEIVE COMMENTS PROMISTATT -
COMMENTS:	

RECEIVE COMMENTS FROM THE BOARD -
RECEIVE COMMENTS FROM THE PUBLIC -

ITEM #29

SUBJECT: ADJOURN TO EXECUTIVE SESSION TO DISCUSS:

- A. THE APPOINTMENT, EMPLOYMENT, COMPENSATION, DISCIPLINE, PERFORMANCE, OR DISMISSAL OF SPECIFIC EMPLOYEES OF THE PUBLIC BODY OR LEGAL COUNSEL FOR THE PUBLIC BODY, INCLUDING HEARING TESTIMONY ON A COMPLAINT LODGED AGAINST AN EMPLOYEE OF THE PUBLIC BODY OR AGAINST LEGAL COUNSEL FOR THE PUBLIC BODY TO DETERMINE ITS VALIDITY.
- B. COLLECTIVE NEGOTIATING MATTERS BETWEEN THE PUBLIC BODY AND ITS EMPLOYEES OR THEIR REPRESENTATIVES, OR DELIBERATIONS CONCERNING SALARY SCHEDULES FOR ONE OR MORE CLASSES OF EMPLOYEES.
- C. THE PURCHASE OR LEASE OF REAL PROPERTY FOR THE USE OF THE PUBLIC BODY, INCLUDING MEETINGS HELD FOR THE PURPOSE OF DISCUSSING WHETHER A PARTICULAR PARCEL SHOULD BE ACQUIRED.

ADJOURNMENT

MINUTES OF THE REGULAR BOARD MEETING OF THE TRUSTEES, VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, HELD MAY 18, 2021

The regular meeting of the Board of Trustees, Village of Tinley Park, Illinois, was held in the Council Chambers located in the Village Hall of Tinley Park, 16250 Oak Park Avenue, Tinley Park, IL on May 18, 2021. President Glotz called this meeting to order at 7:30 p.m.

President Glotz led the Board and audience in the Pledge of Allegiance.

At this time, President Glotz stated this meeting is being conducted pursuant to Governor Pritzker's disaster proclamation and Public Act 101-0640, which amends requirements of the Open Meetings Act due to the COVID-19 pandemic. Pursuant to the same, the Village Board finds that it would be impractical to conduct an in-person meeting with all members present.

At this time Assistant Village Manager Patrick Carr stated on May 17, 2021, Governor Pritzker issued Executive Order 2021-10 and COVID-19 Executive Order 79, which is the Bridge Phase order. The Village is following these requirements. More information on this Bridge Phase order can be found at Illinois.gov and Illinois Department of Public Health website. This order allows for the remove of masks if the individual has received there COVID vaccine.

Clerk Thirion called the roll. Present and responding to roll call were the following:

Village President: Michael W. Glotz
Village Clerk: Kristin A. Thirion

Trustees: William P. Brady

William A. Brennan Diane M. Galante Dennis P. Mahoney Michael G. Mueller Colleen M. Sullivan

Absent:

Also Present:

Village Manager: David Niemeyer Asst. Village Manager: Patrick Carr Village Attorney: Patrick Connelly

Motion was made by Trustee Brennan, seconded by Trustee Sullivan, to approve the agenda as written or amended for this meeting. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brady, seconded by Trustee Mueller, to approve and place on file the minutes of the special Ceremonial Village Board meeting held on May 3, 2021, and the regular Village Board meeting held on May 4, 2021. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

At this time, Clerk Thirion presented a Proclamation proclaiming June 4, 2021, as "National Gun Violence Awareness Day" in the Village of Tinley Park.

Motion was made by Trustee Mueller, seconded by Trustee Brennan, to adopt **RESOLUTION 2021-R-038 COMMEMORATING THE TWENTIETH ANNIVERSARY OF THE SISTER CITY PARTNERSHIP BETWEEN THE VILLAGE OF TINLEY PARK AND THE TOWN OF MALLOW, IRELAND.** The Sister Cities partnership between the Town of Mallow, Ireland, and the Village of Tinley Park was established in 2001 for the express purpose of economic development, visits by Governmental Officials, historical, cultural, and educational exchanges. This Resolution celebrates the twentieth

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

At this time President Glotz and Clerk Thirion presented the Tinley Park Business Spotlight.

• Station Pub and Eatery, 6657 South Street

anniversary of this friendship between the two communities.

• Herman's Auto Center, 7250 Duvan Drive

Motion was made by Trustee Brennan, seconded by Trustee Brady, to appoint THE FOLLOWING VILLAGE BOARD COMMITTEE ASSIGNMENTS.

FINANCE COMMITTEE

TRUSTEE COLLEEN M. SULLIVAN, CHAIR

Trustee Diane M. Galante Trustee Michael G. Mueller

PUBLIC SAFETY COMMITTEE

TRUSTEE WILLIAM A. BRENNAN, CHAIR

Trustee William P. Brady Trustee Dennis P. Mahoney

MARKETING COMMITTEE

TRUSTEE DIANE M. GALANTE, CHAIR

Trustee Michael G. Mueller Trustee Colleen M. Sullivan

ADMINISTRATION & LEGAL COMMITTEE

TRUSTEE WILLIAM P. BRADY, CHAIR

Trustee William A. Brennan Trustee Dennis P. Mahoney

PUBLIC WORKS COMMITTEE

TRUSTEE DENNIS P. MAHONEY, CHAIR

Trustee William P. Brady Trustee William A. Brennan

COMMUNITY DEVELOPMENT COMMITTEE

TRUSTEE MICHAEL G. MUELLER, CHAIR

Trustee Diane M. Galante Trustee Colleen M. Sullivan

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Sullivan, to appoint **TRUSTEE WILLIAM A. BRENNAN TO SERVE AS PRESIDENT PRO-TEM FOR THE 2022 FISCAL YEAR**. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. Abstain: Galante. President Glotz declared the motion carried.

Motion was made by Trustee Mahoney, seconded by Trustee Sullivan, to appoint THE FOLLOWING INDIVIDUALS TO THE ADVISORY COMMISSION ON LABOR AND DEVELOPMENT.

Joe Sweeney, Chair Larry Nichols, Vice-Chair Dan Ahern Mike Uylaki Mike Lafferty Tom McGrath Frank DiGiovanni Mike Macellaio

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Sullivan, to appoint STEPHEN KLOTZ AS INTERIM FIRE SERVICES ADMINISTRATOR EFFECTIVE JUNE 2, 2021, UNTIL A PERMANENT FIRE SERVICES ADMINISTRATOR IS APPOINTED. Due to the upcoming retirement of Fire Services Administrator, Forest Reeder, on June 1, 2021, it is recommended that Stephen Klotz be appointed Interim Fire Services Administrator for the period of time of June 2, 2021, until a permanent Fire Services Administrator is appointed.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan, to appoint LORI KOSMATKA TO THE POSITION OF ASSOCIATE PLANNER, EFFECTIVE MAY 18, 2021. Human Resources conducted a search and received over 30 applications. Lori Kosmatka was identified as the best candidate for the position. Lori has performed a wide range of professional planning duties working in municipal government. Prior to working in municipal government, Lori worked in the private sector coordinating architectural development of hotel projects. She holds degrees as a Master of Urban Planning and Policy, and a Bachelors in Architectural Studies.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Brady, to appoint HEIDI TWOMEY TO THE POSITION OF ADMINISTRATIVE ASSISTANT-FIRE PREVENTION BUREAU, EFFECTIVE MAY 18, 2021. Due to an upcoming retirement in the Fire Prevention Bureau, an internal candidate search was conducted. Heidi Twomey was identified as the best internal candidate for the position. Heidi joined the Village on November 28, 2005. She has supported the Clerk's Office and Finance Department for over 15 years, serving in a clerical and customer service focused position, in addition to managing multiple Village programs that directly impact the community. Her administrative, customer service, and program management qualifications make her a strong candidate for the position.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan, to consider approving the following Consent Agenda items:

The following Consent Agenda items were read by the Village Clerk:

A. CONSIDER REQUEST FROM GOOD SHEPHERD MANOR, TO CONDUCT A RAFFLE THROUGH JUNE 28, 2021, AT THE ODYSSEY COUNTRY CLUB, 19110 RIDGELAND

- AVENUE, WITH THE MAXIMUM VALUE OF THE PRIZE NOT TO EXCEED \$800. WINNERS WILL BE DRAWN AT THE ODYSSEY COUNTRY CLUB.
- B. CONSIDER REQUEST FROM HARALD VIKING LODGE #13 TO CONDUCT A QUEEN OF HEARTS RAFFLE BEGINNING MAY 19, 2021, WITH THE WINNER BEING DRAWN EACH TUESDAY AT THE VIKING LODGE, 6730 175TH STREET.
- C. CONSIDER REQUEST FOR A BLOCK PARTY PERMIT ON SATURDAY, JULY 24, 2021, ON 176TH PL, BETWEEN 6841 AND 6933 FROM 12:00 P.M. TO 10:00 P.M.
- D. CONSIDER REQUEST FOR A BLOCK PARTY PERMIT ON SATURDAY, JULY 31, 2021, ON CHERRY HILL AVENUE, BETWEEN 8400 AND 8500 FROM 3:00 P.M. TO 10:00 P.M.
- E. CONSIDER A REQUEST FROM ST. JUDE RUNNERS ASSOCIATION TO CONDUCT A TAG DAY FUNDRAISER ON SATURDAY, MAY 29 AND JUNE 26, 2021, AT CERTAIN INTERSECTIONS IN THE VILLAGE OF TINLEY PARK.
- F. CONSIDER PAYMENTS OF OUTSTANDING BILLS IN THE AMOUNT OF \$2,373,722.59 AS LISTED ON THE VENDOR BOARD APPROVAL REPORTS DATED MAY 7, AND MAY 14, 2021.

President Glotz asked if anyone from the Board would like to remove or discuss any items from the Consent Agenda. No items were removed or discussed. Vote on roll call: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brady, seconded by Trustee Brennan, to adopt and place on file RESOLUTION 2021-R-039 OPPOSING SB2298 AMENDING THE TAX INCREMENT ALLOCATION REDEVELOPMENT ACT OF THE ILLINOIS MUNICIPAL CODE. SB2298 amends and significantly modifies the Tax Increment Allocation Redevelopment Act (TIF Act) and will critically impair the ability to use TIF as an economic development tool in Tinley Park and across the State of Illinois. The most impactful modifications are in the determination of "blighted" and "conservation" areas that will make designating a TIF area difficult. The bill also reduces the allowable life of a TIF district from 23 years to 10 years, which decreases a municipality's ability to have a realistic timeline to plan and execute the redevelopment plan. Both modifications to the TIF Act are detrimental to the use of TIF to restore viability in economically distressed areas in Illinois and Tinley Park in the future. This item was considered at the Committee of the Whole held prior to this meeting.

President Glotz asked if there were any comments from members of the Board or public.

Trustee Galante asked why state legislators are considering this opposition to this act. Mr. Niemeyer stated there is always opposition from various groups that want to limit TIF. With this amendment many developments would be impossible. Trustee Sullivan asked what the benefit to this amendment is for the State. Mr. Niemeyer stated this amendment would reduce the number of projects funded by TIF.

Ben Desnoyers asked if this would affect our current TIFs. Village Treasurer Brad Bettenhausen stated it would affect future TIF projects.

Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brady, seconded by Trustee Brennan, to adopt and place on file RESOLUTION 2021-R-033 SUPPORTING RESTORATION OF LOCAL GOVERNMENT

5

DISTRIBUTIVE FUND (LGDF). The State of Illinois has maintained a long-held agreement with municipalities to support and invest in local services through the Local Government Distributive Fund (LGDF). The LGDF includes the collection and distribution of tax revenues on behalf of municipalities. The state government has shared a percentage of the total income tax collections through the LGDF with municipalities on a per capita basis in lieu of a local income tax. Municipalities depend on LGDF dollars, which can account for between 10% and 20% of their operating budget. The Governor has proposed that the Fiscal Year 2022 state budget include a further 10% reduction in the amount of LGDF revenue distributed to local governments. This Resolution urges the General Assembly and the Governor to restore LGDF payment to the promised 10% rate so communities across Illinois may provide basic levels of service and lessen the reliance on property taxes. This item was considered at the Committee of the Whole held prior to this meeting.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Sullivan, to postpone ORDINANCE 2021-O-017 GRANTING A VARIATION FOR MINIMUM APARTMENT SIZE AT 6732 173RD STREET, until June 1, 2021.

Trustee Galante asked why the Village is postponing this item. Community Development Director Kimberly Clarke stated that the Village continues to work with the property owner to address code violations at this property.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Galante, to place on first read **ORDINANCE 2021-O-023 APPROVING THE ANNEXATION OF A PARCEL OF PROPERTY COMMONLY LOCATED AT 6864 179TH STREET.** The Petitioner, Maria Poulos, on behalf of MAKP Properties, INC., has petitioned the Village of Tinley Park to annex approximately 28,552 sq. ft. of property located at 6864 179th Street in unincorporated Cook County. The annexation will include the adjacent 179th Street right-of-way.

Trustee Galante asked if there were any residents near this property that had issues with this annexation. Ms. Clarke noted that some nearby resident was concerned with parking on the street. The residents asked if the Village could prohibit this. The process for street parking would go through the Public Safety Committee for discussion.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan, to place on first read **ORDINANCE 2021-O-024 GRANTING A MAP AMENDMENT (REZONING) FOR PROPERTY LOCATED AT 6864 AND 6900 179TH STREET TO R-6 (MEDIUM DENSITY RESIDENTIAL).** The Petitioner, Maria Poulos, on behalf of MAKP Properties, INC., is requesting to rezone two properties (6864 & 6900 179th St.) from R-1 (Single Family Residential) to R-6 (Medium Density Residential), to allow for the construction of

May 18, 2021

two townhome structures with six dwelling units in each building.

The Plan Commission held a Public Hearing on April 15, 2021, and voted 7-0 to recommend approval of the map amendment (rezoning) in accordance with the plans, conditions, and Findings of Fact listed in the Staff Report.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Mahoney, to place on first read **ORDINANCE** 2021-O-025 GRANTING A REAR YARD SETBACK VARIATION AT 17870-17881 ARGOS COURT FOR SUNSET ESTATES SUBDIVISION. The Petitioner, Maria Poulos, on behalf of MAKP Properties, Inc., is requesting a variation to permit rear yard setbacks ranging from 13.59 feet to 15.12 feet when a 30-foot rear yard setback is required. This will allow for the construction of two townhome structures in the proposed Sunset Estates Subdivision.

The Plan Commission held a Public Hearing on April 15, 2021, and voted 7-0 to recommend approval of the Variation in accordance with the plans, conditions, and Findings of Fact listed in the Staff Report.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Mahoney, to place on first read **ORDINANCE** 2021-R-026 APPROVING AND ACCEPTING A FINAL PLAT OF SUBDIVISION FOR SUNSET ESTATES AT 6864 AND 6900 179TH STREET. The Petitioner, Maria Poulos, on behalf of MAKP Properties, INC., has requested Final Plat approval for the Sunset Estates located at 6864 and 6900 179th Street for property totaling approximately 49,362 sq. ft.

The Plan Commission reviewed the Final Plat of Resubdivision at the April 15, 2021, meeting with a recommendation of approval conditioned upon final engineering approval by the Village Engineer with a vote of 7-0.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan, to adopt and place on file ORDINANCE 2021-O-032 GRANTING DRIVE AISLE WIDTH AND SIDE YARD SETBACK VARIATIONS FOR PROPERTY LOCATED AT 7613 159TH STREET. The Petitioner, Brittany Maddox (Genelin) on behalf of National Veterinary Associates, is requesting a variation of 5.5 feet from the required aisle width of 26 feet to allow for a reduced aisle width of 20.5 feet for a portion of the parking lot drive aisle and a variation of .19 feet from the required ten-foot side yard setback to allow for a setback of 9.81 feet on the east side of the property. The approval of these variations will allow for the construction of a 400 square foot addition on the north side of the existing building located at 7613 159th Street.

The Plan Commission held a Public Hearing on May 6, 2021, and voted 5-0 to recommend approval of the Variations in accordance with the plans, conditions, and Findings of Fact listed in the Staff Report.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan, to adopt and place on file RESOLUTION 2021-R-036 AUTHORIZING A NON-EXCLUSIVE LICENSE AGREEMENT FOR THE 80TH AVENUE TRAIN STATION WITH HARP 80TH AVE TENANT, LLC. The Resolution for consideration will allow Harp 80th Ave Tenant, LLC, to license the available space at the 80th Avenue Train Station for five (5) years. Highlights of the license agreement are as follows: first three (3) months are free and then a base monthly license fee of \$1,500 plus a percentage of gross sales equal to 2.5% a year apply. Harp 80th Ave Tenant, LLC plans to provide services to commuters such as coffee, breakfast & lunch items. In addition, they will host private and public events throughout the year. This item was considered at the Committee of the Whole meeting held prior to this meeting.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan, Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Galante, to adopt and place on file ORDINANCE 2021-O-027 APPROVING A SECOND AMENDMENT TO THE ECONOMIC INCENTIVE AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND BANGING GAVEL PROPERTIES, LLC. Banging Gavel LLC, is requesting a second amendment to their economic incentive agreement. With the patio work nearly completed, the owners are requesting from the Village use of their outdoor patio from May 27, 2021, to November 1, 2021, for a beer garden without the brewpub operational. The owners see an opportunity to provide a temporary outdoor experience that will be inviting and safe while the pandemic continues. A site plan and operations summary has been provided for the proposed beer garden and is exhibits to the agreement. The beer garden will be required to have meals available during hours of operation and they must comply with all Village regulations. The new date for completion of the brewpub has been extended to December 31, 2022, of which this agreement will terminate. This item was considered at the Committee of the Whole held prior to this meeting.

President Glotz asked if there were any comments from members of the Board or public.

Trustee Brennan stated concerns about the amount of time to complete this project. A representative from Banging Gavel spoke to issues they were having securing funding for this project due to the pandemic.

Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brady, to place on first read **RESOLUTION 2021-R-034 AUTHORIZING THE EXECUTION OF A TAX INCREMENT FINANCING REDEVELOPMENT AGREEMENT WITHIN THE 159TH AND HARLEM TIF DISTRICT BETWEEN THE VILLAGE OF TINLEY PARK AND JMW PROPERTIES, LLC FOR PROPERTY AT 7061-7063 159th STREET.** JMW Properties, LLC, is requesting the Village provide economic assistance to make improvements to their shopping center. The proposed incentive consists of sharing up to \$960,000 of TIF incremental revenue produced by this site alone. The Village proposes to share whichever is less, 43% of the total actual project costs or 78% of the redevelopment costs with conditions outlined in the draft agreement. Stipulations prior to adoption of this Resolution include: language on the claw back in the event there is a vacancy, and the project cost must be finalized.

This item was considered at the Committee of the Whole meeting held prior to this meeting. President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brennan, to adopt and place on file **RESOLUTION 2021-R-035 AUTHORIZING A PROFESSIONAL SERVICES AGREEMENT WITH GOVTEMPS USA FOR PROVISION OF A PLANNING CONSULTANT.** Planning Manager, Paula Wallrich, is set to retire from this position on May 27, 2021, as a GovHR employee working for the Village. It is recommended that the Village enter into a new Professional Services Agreement with GovHR to hire Paula as a Planning Consultant to provide some continuity with projects. The agreement establishes Paula's service as Planning Consultant through December 31, 2021, at a rate of pay of \$77.49/hour. The actual rate paid to Ms. Wallrich will be \$55.35/hour. The number of hours per week will vary based on project needs. The employee will be paid for only hours worked. This item was considered at the Committee of the Whole held prior to this meeting.

President Glotz asked if there were any comments from members of the Board or public.

Ms. Wallrich thanked the Mayor, Clerk, and Village Board for the opportunity to work for the Village. She also thanked follow staff and the citizens of the Village.

Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Brady, to adopt and place on file **ORDINANCE 2021-O-029 INCREASING THE NUMBER OF CLASS "N" LIQUOR LICENSES THAT CAN BE ISSUED IN THE VILLAGE - HAMPTON INN LOCATED AT 18501 N CREEK DRIVE.** Hampton Inn located at 18501 North Creek Drive is seeking a Class N Liquor License. A Class N Liquor License authorizes a hotel to serve beer and wine on the premises, in addition to operating a pantry selling packaged beer and wine for guests staying at the hotel. Hampton Inn currently has a convenience shop that sells items such as pop, water, candy, chips, etc., and hopes to add beer and wine sales as an added convenience to hotel guests. This item was considered at the Committee of the Whole prior to this meeting.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

May 18, 2021

Motion was made by Trustee Mueller, seconded by Trustee Sullivan, to adopt and place on file ADOPTING ORDINANCE 2021-O-028 INCREASING THE NUMBER OF CLASS "N" LIQUOR LICENSES THAT CAN BE ISSUED IN THE VILLAGE - EVEN HOTEL LOCATED AT 18501 CONVENTION CENTER DRIVE. EVEN Hotel located at 18501 Convention Center Drive is seeking a Class N Liquor License. A Class N Liquor License authorizes a hotel to serve beer and wine on the premises, in addition to operating a pantry selling packaged beer and wine for guests staying at the hotel. EVEN Hotel currently operates an on-site restaurant, and hopes to add beer and wine sales as an added convenience to hotel guests. This item was considered at the Committee of the Whole prior to this meeting.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Brennan, seconded by Trustee Mueller, to adopt and place on file RESOLUTION 2021-R-030 BETWEEN THE TINLEY PARK POLICE SERGEANTS AND THE VILLAGE OF TINLEY PARK. The Village has been renegotiating an agreement with the sergeants that was last approved in 2018. In this agreement, the sergeant's wage increase will continue to be at a 20% differential above the top base salary of a patrol officer. Administrative days off are restored to their previous level, which is three (3) days. Language was also added to clarify overtime assignments. This agreement is a four (4) year agreement and expires April 30, 2025.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Brady, to adopt and place on file RESOLUTION 2021-R-037 AUTHORIZING THE VILLAGE MANAGER'S AUTHORITY TO CONTRACT FOR THE PURCHASE OF ELECTRICITY – STREET LIGHTING ACCOUNTS. The Village participates in a consortium with 150 other municipalities known as the Northern Illinois Municipal Electric Collaborative (NIMEC) to collectively obtain pricing for residential and municipal electricity. NIMEC will be holding a group bid for Street Lighting accounts on June 8, 2021. As with the previous electrical agreements, the window of opportunity for the Village to sign agreements and take advantage of the lowest bidder is typically limited to less than 48 hours. As such, the Village will need to authorize the Village Manager, to sign a third-party agreement upon completion of the competitive bidding process. This will aid in assuring that the Village continues to be afforded the best possible electrical rates. This was considered at the Committee of the Whole held prior to this meeting.

President Glotz asked if there were any comments from members of the Board or public. There were none. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

At this time Village Attorney Tom Condon presented an update on current litigation. Litigation discussed included:

Eminent domain cases for 6706, 6712, and 6724 North Street. Mr. Condon noted that there is a pending matter on foreclosure for 6706 North Street. The Village is petitioning to have all three (3) cases in front of one judge in order for the case to run in tandem with foreclosure action. Mr. Condon will inform the Village Manager of the results of these pending cases.

President Glotz asked if there were any comments from members of the Staff.

Mr. Niemeyer congratulated and thanked Paula Wallrich on her retirement.

Police Chief Walsh recognized Assistant to the Village Manager Hannah Lipman and Human Resources Director Angela Arrigo for their work with the police test that took place on Saturday, May 15, 2021. He also thanked the Civil Service Commissioners, Trustee Brady, Patricia Poulos, and Laura Sanchez for assisting with this event.

Marketing Director Donna Framke stated that the Tinley Park District is going forward with the 4th of July Celebration. She noted that the Memorial Day celebration will take place on May 31st. Ms. Framke also noted that the 2021 Benches are out along Oak Park Avenue.

President Glotz asked if there were any comments from members of the Board.

President Glotz thanked Paula Wallrich for her hard work and congratulated her on her retirement. He also wished Shirley Swartz, former Deputy Clerk for the Village, Happy 90th Birthday.

President Glotz and Trustee Brady thanked the Veterans Commission for a successful Armed Forces Day Event.

Trustee Galante thanked Ms. Wallrich for her hard work. She also stated concerns with misconceptions regarding her work at the Village. She stated she works for the people of Tinley Park. Trustee Galante also commented that legal spending is a concern for her. She would like to see tracking of projects and regular reporting on open cases. She has concerns with the funds spent on cases. She responded to social media posts and comments made regarding herself by other Board members.

Trustee Brennan congratulated Ms. Wallrich on her retirement and thanked her for her work.

President Glotz asked if there were any comments from members of the public.

Joe Galante stated concerns with social media posts regarding him and other family members.

Joe Galante stated concerns about how his wife is treated by fellow Board members.

Mike Stuckly stated that the Armed Forces event by the Veterans Commission was excellent. He welcomed Trustees Mahoney and Sullivan to the Village Board. He also commented on an affidavit signed by Trustee Galante.

Nancy O'Connor commented on information provided to all Village Board members regarding the Harlem and Vollmer project as well as other projects. She also stated concerns about being bullied.

Ben Desnoyers stated that he would like to see the Village Board focus on Village issues.

Motion was made by Trustee Mueller, seconded by Trustee Brennan, at 9:04 p.m. to adjourn to Executive Session to discuss the following:

A. THE APPOINTMENT, EMPLOYMENT, COMPENSATION, DISCIPLINE, PERFORMANCE, OR DISMISSAL OF SPECIFIC EMPLOYEES OF THE PUBLIC BODY OR LEGAL COUNSEL FOR THE

May 18, 2021

2021 11

PUBLIC BODY, INCLUDING HEARING TESTIMONY ON A COMPLAINT LODGED AGAINST AN EMPLOYEE OF THE PUBLIC BODY OR AGAINST LEGAL COUNSEL FOR THE PUBLIC BODY TO DETERMINE ITS VALIDITY.

- B. COLLECTIVE NEGOTIATING MATTERS BETWEEN THE PUBLIC BODY AND ITS EMPLOYEES OR THEIR REPRESENTATIVES, OR DELIBERATIONS CONCERNING SALARY SCHEDULES FOR ONE OR MORE CLASSES OF EMPLOYEES.
- C. THE PURCHASE OR LEASE OF REAL PROPERTY FOR THE USE OF THE PUBLIC BODY, INCLUDING MEETINGS HELD FOR THE PURPOSE OF DISCUSSING WHETHER A PARTICULAR PARCEL SHOULD BE ACQUIRED.

Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

Motion was made by Trustee Mueller, seconded by Trustee Sullivan, to adjourn the Village Board meeting at 10:17 p.m. Vote on roll call. Ayes: Brady, Brennan, Galante, Mahoney, Mueller, Sullivan. Nays: None. Absent: None. President Glotz declared the motion carried.

PLEASE NOTE: Where there is no summary of discussion on any items in the minutes, this reflects that no discussion occurred other than the introduction of the item.

		APPROVI	ED:	
ATTEST:		V	Village President	
	Village Clerk			

CERTIFICATE OF RECOGNITION ON BEHALF OF THE CITIZENS OF TINLEY PARK

This certificate is awarded to

Naela Yasin

In Recognition for Life Saving Actions on May 22, 2021. For Saving the Life of a Women at the Victor J. Andrew High School Graduation Ceremony.

Village President Michael Glotz

Date

Trustee Colleen Sullivan

Date



CERTIFICATE OF RECOGNITION ON BEHALF OF THE CITIZENS OF TINLEY PARK

This certificate is awarded to

Mary Kasper

In Recognition for Life Saving Actions on May 22, 2021. For Saving the Life of a Women at the Victor J. Andrew High School Graduation Ceremony.

Village President Michael Glotz

Date

Trustee Colleen Sullivan

Date



CONSIDER THE FOLLOWING COMMISSION APPOINTMENTS FOR FISCAL YEAR 2022. New members are noted with an asterisk (*).

Civil Service

Martin Gainer, Chair – 1-year term Andre' Ashmore, Jr. - 2-year term Jim Guth – 3-year term*

Economic Commercial

Jay Walsh, Chair

Dennis Reidy

Dino Sanfilippo

Richard Osty

Christine Obbagy

Brian Potter

Chris Shoemaker

Adam Guldan

Chris Schiller

Daniel Fitzgerald*

Emergency Telephone System Board (ETSB)

Trustee William Brennan Trustee Colleen Sullivan* Trustee William Brady

Pat Carr

Matthew Walsh

Steve Klotz*

John Urbanski

Lisa Kortum

Police Pension Board

Raymond Violetto, President

 $Carl\ Lindokken-Vice\ President$

Fred Mondt, Secretary

Timothy Ehlers – Asst. Secretary

John Chomiak*

Andrew Brown (Ex-officio)

Senior Services

Michael Cutrano, Chair

Robert Hayes

Vicki Hayes

Rosemarie Bauer

Marcia A. Hecht

Phyllis Groberski

Andy Ashmus

Samuel Avalos

Veterans

Doug Rasmussen (William), Chair

Norm Pestlin Jim Hudik

Karen Tobola

Jimmy Hunter

Georges Sanon

Christine Hansley (AVMRA VFW Aux.)

Don Tomich (Marine Corp. League Rep.)

Robert Bullard (Submarine Rep.)

Denise Houdek*

John Houdek*

Ken Wrezzes (Associate)

William McNellis (Ex-Officio - Amer. Legion, Commander) *

Fred Cagle (Ex-Officio – VFW, Commander) *

CENTRAL (11/2001	
CONSIDER APPOINTING ALLISON TUGEND TO THE POSITION OF SENIOR FINANCE CLERK President Glotz	Page 2

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CONSIDER APPOINTING PAMELA VOLANTI TO THE POSITION OF ADMINISTRATIVE ASSISTANTPUBLIC WORKS

President Glotz



Date: May 4, 2021

To: Dave Niemeyer, Village Manager

From: Angela Arrigo, Human Resources Director

Subject: 2021-2022 Benefits Consulting Services Renewal

The Village has relied on benefit consulting services provided by Alliant since July 2017. Alliant has been responsive to the benefit needs of the Village and has been providing a satisfactory level of benefit consulting within the scope of services. The current renewal date is July 2021.

The 2021 proposed benefits consulting contract service fees remain unchanged from the current contract. You will see in the attached 'Proposal' and 'Scope of Services' documents that both the medical and dental carrier commission rates remain below the standard commissions. The current estimated commissions are \$49,000 annually.

It is recommended that benefit consulting services provided by Alliant as outlined in the attached documents are renewed for a period from July 15, 2021- July 14, 2022.





April 28, 2021

David Niemeyer Village of Tinley Park 16250 South Oak Park Avenue Tinley Park, IL 60477

Re: Benefits Consulting Services – Contract Acknowledgement

This letter is an acknowledgment of the acceptance of the Alliant proposal for Benefits Consulting Services for 1% carrier commission on medical (standard is 3%), 1% carrier commission on dental (standard is 8%) and standard insurance carrier commission on ancillary policies. In-force Life AD&D commission is 10% and vision commission is 5%.

Alliant will provide benefits brokerage/consulting services as outlined in Schedule A (Scope of Services) attached to this acknowledgement letter for the one year time period beginning July 15, 2021 through July 14, 2022 subject to acceptance by Village of Tinley Park

In-force policies to which this contract acknowledgement applies:

Health & Prescription Drug Dental Vision Life / AD&D FSA/ Dependent Care EAP Retiree Supplemental Plans COBRA

The compensation indicated above will be fully earned as of the inception date of each annual service term. Amendments or modifications to the agreed upon service fee must be received in writing and signed by an authorized representative of both Village of Tinley Park and Alliant.



Village of Tinley Park Benefit Consulting Services – Contract Acknowledgement April 28, 2021

In addition, as is a common practice in the industry, Alliant benefits from programs implemented by certain insurers and administrators providing for compensation, in addition to fees or standard insurance carrier commissions, to be paid to Alliant based upon differing factors. The insurance Village of Tinley Park purchases and or represented through Alliant may be issued by an insurer or administrator who has such a program. Alliant agrees to not accept any such additional compensation outside the scope of the insurance carrier commission as defined in this contract.

Please acknowledge your receipt and acceptance of this contract acknowledgement by signing in the space provided below. If you have any questions, please contact me at 312-595-7341 or at renee.formell@alliant.com.

Sincerely,	
Renee Formell Senior Vice President Alliant	
Authorized Representative: Villa	age of Tinley Park
Title	-
Date	-

Village of Tinley Park

SCOPE OF SERVICES SCHEDULE A

Service Deliverables

Annual Benefit Plan Audit

- Review goals, risk tolerance, financial objectives
- Jointly develop short and long term goals
- Plan cost analysis
- Plan design analysis
- Plan administration review
- Premium statement review for accuracy
- Review of plan communication materials (booklets, benefit summaries, brochures, SBC's, etc.)

Plan Improvement Guidance

- Plan design analysis
- Employee contribution analysis
- Utilization analysis of current plan performance (in-network utilization, discount analysis, employee cost sharing, etc.)
- Determine administrative needs and requirements
- Review wellness opportunities (carrier level and third party)
- Evaluate technology alternatives (employee portal, enrollment system, HRIS, payroll, etc.)

Competitive Assessment

- Benchmark current plan offerings, plan designs, total costs and employee contributions
- Review historical cost trends
- Review alternate funding mechanisms
- Examine carrier's financial stability and rating

Vendor Management

- Contract review and negotiation
- Price and service negotiations
- Brokerage of and insurance product placements
- Discount Analysis and Discount Guarantee negotiations, if applicable
- Analysis of vendor performance relative to guarantees, if applicable
- Coordinate and attend periodic vendor information/education presentations
- Evaluate new vendor products and benefit provisions
- Maximize vendor product and service deliverables

Strategic Recommendations

- Additional product discussion
- Analyze administrative needs and potential efficiencies
- Review potential market and program alternatives
- Review Health Care Reform impact and strategy for compliance
- Discuss Affordable Care Act (ACA) compliance solutions and strategies
- Assist in development of wellness strategy, design, structure, and deployment
- Design employee education/communication strategy

Service Deliverables

Renewal Management

- ♦ Pre-renewal
 - Pre-renewal strategy meeting
 - Analysis of plan performance and renewal underwriting projections
 - Educate and evaluate alternative design approaches
 - Discuss market alternatives and potential network, cost and administrative impact
 - Model plan design alternatives
- Prepare Request For Proposal (RFP)
 - Review alternative bids
 - Coordinate carrier interviews
 - Prepare financial and benefits comparisons
- ♦ Model employee contribution schemes
 - Model financial impact of changes and changes to various employee groups, if needed
 - Compare current and alternative contributions to benchmarks
- Renewal
 - Analyze renewal offer and negotiate where appropriate
 - Finalize plan designs, fees and rates
 - Finalize employee contributions
 - Coordinate and host with employee meetings and communication campaign

Plan Administration Assistance

- ♦ Ongoing escalated claim intervention/ troubleshooting
- Ongoing escalated policy administration troubleshooting
- Personal employee assistance on coverage and claims matters as needed
- Provide ongoing regulatory compliance guidance
 - In-house benefits compliance attorney
 - Provide Mesirow prepared legislative updates
 - Provide Mesirow prepared benefit-related topical reference materials
- ♦ Provide ongoing Health Care Reform Consulting
 - Provide Customized "Road To Compliance" report
 - Provide ACA Financial Modeler report
- ♦ Provide ongoing COVID Consulting
 - Provide Webinars & Podcasts
 - Compliance Updates
 - Return To Work Playbook
- Assist with periodic carrier meetings
 - Schedule, attend and coordinate educational, administrative and review meetings
 - Present benefit materials to insured membership on as needed basis
 - Monitor insurance industry product developments
- Review and edit annual renewal communication materials
- COBRA administration support services: evaluation, placement & monitoring
- Annual Health Fair services support (local only)

Service Deliverables

Reporting

- For Self-Funded plans:
 - Periodic Medical Premium versus Claims Reporting
 - Periodic Medical Financial Analysis of plan performance
 - Annual Health Plan Intelligence Management Report (Plan IT) with access to HPI-Dashboard
- Historical Medical Premium versus Claims Reporting
- Historical Medical Financial Analysis of plan performance
- Claims experience analysis, if applicable
- Annual Stewardship Report of Accountability
- Special projects

Meetings

- Facilitate insurance committee meetings
- Host administrative meetings
- Host open enrollment meetings
- ♦ Attend Board meetings

Tools and Resources

- Provide Benefits Communication Website: Touchpoints, Ben IQ
- Develop customized Employee Benefit Guides (electronic only)
- Provide Legislative Bulletins and Compliance Alerts
- Access to certified Human Resources support: ThinkHR & HR 360
- Access to Alliant Client Webinars / Seminars

THE VILLAGE OF TINLEY PARK

Cook County, Illinois Will County, Illinois

RESOLUTION NO. 2021-R-048

A RESOLUTION AUTHORIZING THE RENEWAL OF A PROFESSIONAL SERVICES AGREEMENT WITH ALLIANT FOR HEALTH INSURANCE BROKER SERVICES

MICHAEL W. GLOTZ, PRESIDENT KRISTIN A. THIRION, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park

RESOLUTION NO. 2021-R-048

A RESOLUTION AUTHORIZING THE RENEWAL OF A PROFESSIONAL SERVICES AGREEMENT WITH ALLIANT FOR HEALTH INSURANCE BROKER SERVICES

WHEREAS, the Village of Tinley Park, Cook and Will Counties, Illinois, is a Home Rule Unit pursuant to the Illinois Constitution of 1970; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have considered entering into an Agreement with Alliant, a true and correct copy of such Agreement being attached hereto and made a part hereof as **EXHIBIT 1**; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interests of said Village of Tinley Park that said Agreement be entered into by the Village of Tinley Park;

NOW, THEREFORE, Be It Resolved by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, as follows:

Section 1: The Preambles hereto are hereby made a part of, and operative provisions of, this Resolution as fully as if completely repeated at length herein.

<u>Section 2</u>: That this President and Board of Trustees of the Village of Tinley Park hereby find that it is in the best interests of the Village of Tinley Park and its residents that the aforesaid "Agreement" be entered into and executed by said Village of Tinley Park, with said Agreement to be substantially in the form attached hereto and made a part hereof as <u>EXHIBIT 1</u>.

Section 3: That the President and Clerk of the Village of Tinley Park, Cook and Will Counties, Illinois are hereby authorized to execute for and on behalf of said Village of Tinley Park the aforesaid Agreement.

Section 4: That this Resolution shall take effect from and after its adoption and approval.

ADOPTED this 1st day of June, 2021, by the Corporate Authorities of the Village of Tinley Park on a roll call vote as follows:

AYES:		
NAYS:		
ABSENT:		
APPROVED this 1st day of June, 20	021, by the President of the Village of Tinley Park.	
ATTEST:	Village President	

Village Clerk

EXHIBIT 1

ALLIANT AGREEMENT

STATE OF ILLINOIS)	
COUNTY OF COOK)	SS
COUNTY OF WILL)	

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2020-R-048, "A RESOLUTION AUTHORIZING THE RENEWAL OF A PROFESSIONAL SERVICES AGREEMENT WITH ALLIANT FOR HEALTH INSURANCE BROKER SERVICES," which was adopted by the President and Board of Trustees of the Village of Tinley Park on June 1, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of June, 2021.

KRISTIN A. THIRION, VILLAGE CLERK

BLOCK PARTY APPLICATION

Village of Tinley Park

16250 South Oak Park Avenue, Tinley Park, Illinois 60477

Phone: 444-5000

MAY | 3 2021

Representative: Patrick Coyne Address: Phone: Organization: N/A Specific Location of Party: Creekside Ave - Between 170th Place and 17000 Creekside Ave Request Date: June 19, 2021 To: 11pm Time: 11am a.m./p.m. a.m./p.m. Purpose: Neighborhood Block Party Person or Persons In Charge: Name: Patrick Coyne Phone: Name: Claudia Coyne Phone: Phone: Name: Number of Barricades Needed: 4 DO NOT USE VEHICLES AS BARRICADES. **PLEASE NOTE** The applicants have the responsibility of ascertaining that the street is not blocked in such a manner as to cause delay in the performance of emergency duties by the police department, fire department, ambulance or public works department. It is recommended that there be no parking on the hydrant side of the street. (moveable road block, refreshments served from curb, no large vehicles parked on street, no entertainment, music boxes or band blocking street). A person or persons shall be responsible for the removal of any road block in the event of an emergency. The applicants are responsible for any injury, damage to property or illegal actions during the block party. The applicants are responsible for maintaining order and obedience to the village, county, and state laws. In the event that there should be directive, written or oral, from the police department to discontinue the party for proper reasons, then the applicants must comply. Signed: VILLAGE USE ONLY Fire Chief: Not Approved □ Approved □ Police Chief: Not Approved □ Approved Village Clerk: Approved □ Not Approved □ Permits & Licenses Committee:

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Voucher List Village of Tinley Park Page:

Bank code :

ap_ff

Voucher Vendor Invoice PO# **Description/Account Amount Date** 2169160592 42421 4/24/2021 020092 MACY'S **CORELLE LIVINGWARE SETS** 36-00-000-75129 446.17 Total: 446.17 1 Vouchers for bank code : ap_ff Bank total: 446.17

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Voucher List

Village of Tinley Park

Bank code: ap py

Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
126312	5/21/2021	003127	BLUE CROSS BLUE SHIELD	BCBS-NA-PPPR060121		IL065LB000001212-0 HEALTH INS E	
						86-00-000-20430	1,056.50
				BCBS-NA-PR060121		IL065LB000001212-0 HEALTH INS E	
						86-00-000-20430	2,081.00
						Total :	3,137.50
126313	5/21/2021	019214	BLUE CROSS BLUE SHIELD	BCBS-DA-PPPR060121		IL065LB000001212-0 HEALTH INS E	
						86-00-000-20430	227.71
				BCBS-DA-PR060121		0000ILLB1212 HEALTH INS EXP-MA	
						86-00-000-20430	206.08
						Total :	433.79
126314	5/21/2021	004640	HEALTHCARE SERVICE CORPORATION	HCSVCS-PPPR060121		A/C#271855-HEALTH INS-MAY PMT/	
						86-00-000-20430	19,321.49
				HCSVCS-PR060121		A/C#271855-HEALTH INS-MAY PMT/	,
						86-00-000-20430	15,559.52
						Total :	34,881.01
126315	5/21/2021	002613	UNITED HEALTHCARE AARP	AARP -PPPR060121		AARP POLICE PENSION MAY PMT/	
						86-00-000-20430	3,231.58
						Total :	3,231.58
	4 Vouchers	for bank	code: ap py			Bank total :	41,683.88

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Voucher List Village of Tinley Park

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192254	5/21/2021	010955 AT&TLONG DISTANCE	827776689		CORPORATE ID931719LB TIP LINE	20.04
					01-17-225-72120 Total :	39.21 39.21
192255	5/21/2021	019563 AEP ENERGY INC	3013134248		ACCT#3013134248 4384028017 681	
			3013134259		01-26-024-72510 ACCT#3013134259 #4623055116 19	36.25
					01-26-024-72510	9,245.31 151.98
					08-00-000-72510 Total :	9,433.54
192256	5/21/2021	002734 AIR ONE EQUIPMENT, INC	168521		BREATHING AIR QUALITY TEST	
					01-19-000-72750 Total :	150.00 150.00
192257	5/21/2021	011466 ALBERTSONS/SAFEWAY	051821		****0415 BOARD MEETINGS GOLDF	
					01-14-000-73115	54.71
					Total :	54.71
192258	5/21/2021	002424 AMERICAN WATER WORKS ASSOC	7001925206		MEMBERSHIP FOR J.FITPATRICK 8 60-00-000-72720	80.85
					63-00-000-72720	80.85
					64-00-000-72720 Total :	69.30 231.00
192259	5/21/2021	004223 ARC ILLINOIS	822434		PRINTER INK	
192233	3/2 1/202 1	004223 ANO ILLINOIS	022404		01-33-000-73110	339.19
					Total :	339.19
192260	5/21/2021	019166 ARIF, ADNAN	051921		PERFORMANCE JUNE 12 FARMERS	75.00
					01-35-000-72923 Total :	75.00 75.00
192261	5/21/2021	002545 ASHFORD HOUSE	63985		ARMED FORCES DAY CEREMONY	
					01-41-050-72932 Total :	300.00 300.00
400000	5/04/063 <i>1</i>	040050 DATTERIES RILIS 677	D00044470			300.00
192262	5/21/2021	010953 BATTERIES PLUS - 277	P39641178		SLA12-8F BATTERY	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amoun
192262	5/21/2021	010953 BATTERIES PLUS - 277	(Continued)			
			D20740272		14-00-000-74150	140.0
			P39719373		SLAV12-8F 14-00-000-74150	140.0
					Total :	280.0
192263	5/21/2021	003015 BEHRENS, JERRY	AP060121		JERRY BEHRENS HEALTH INSURAL	
.02200	0/= //=0= :		7 000		01-17-205-72435	162.5
					Total:	162.5
192264	5/21/2021	020096 BERNARDIN'S LANDSCAPING INC	051221		SUBCONTRACTOR'S LICENSE OVE	
					01-14-000-79010	50.0
					Total :	50.0
192265	5/21/2021	003127 BLUE CROSS BLUE SHIELD	BCBS-NA-AP060121		IL065LB000001212-0 HEALTH INS E	
					01-26-023-72435	156.0
					01-33-300-72435	121.0
					60-00-000-72435	63.8
					63-00-000-72435	12.1
					64-00-000-72435	63.3
					60-00-000-72435	63.8
					63-00-000-72435	12.1
					64-00-000-72435	32.5
					60-00-000-72435	63.8
					63-00-000-72435	12.1
					64-00-000-72435 60-00-000-72435	32.5 71.1
					63-00-000-72435	13.5
					64-00-000-72435	36.3
					01-12-000-72435	128.0
					01-19-020-72435	268.5
					01-26-023-72435	364.0
					01-33-300-72435	96.0
					60-00-000-72435	60.2
					63-00-000-72435	11.4
					60-00-000-72435	63.8
					63-00-000-72435	12.1

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
192265	5/21/2021	003127	BLUE CROSS BLUE SHIELD	(Continued)			
						64-00-000-72435	32.55
				BCBS-NA-PPAP0601	21	IL065LB000001212-0 HEALTH INS E	
						01-17-205-72435	1,056.50
						Total :	2,847.50
192266	5/21/2021	019214	BLUE CROSS BLUE SHIELD	BCBS-DA-AP060121		0000ILLB1212 HEALTH INS EXP-MA	
						01-26-023-72435	69.51
						01-33-300-72435	60.09
						01-26-024-72435	76.46
				BCBS-DA-PPAP0601	21	0000ILLB1212 HEALTH INS EXP-MA	
						01-17-205-72435	227.70
						Total :	433.76
192267	5/21/2021	019783	BONAREK, MICHAEL	101		MAILBOXES -LABOR	
						01-26-023-73840	400.00
				102		MAILBOXES - LABOR	
						01-26-023-73840	400.00
				103		MAILBOX MATERIALS	
						01-26-023-73840	500.00
				104		MAILBOX MATERIALS	
						01-26-023-73840	140.00
						Total :	1,440.00
192268	5/21/2021	003148	BREMEN ANIMAL HOSPITAL, LTD	87963		YAMBO - RIMADYL CHEWS	
						01-17-220-72240	112.00
						Total :	112.00
192269	5/21/2021	011929	CAPITAL ONE BANK (USA), N.A.	041221		****6452 DOMAIN RENEWAL	
			- · · · · · · · · · · · · · · · · ·			01-35-000-72653	78.68
				041421		****6452 MONTHLY SUBSCRIPTION	70.00
				5 · · · · <u>-</u> ·		01-35-000-72720	27.72
				041921		****6452 WEBINAR FOR CHIEF REE	
						01-19-000-72170	50.00
				042021		****6452 ADOBE STOCK	
						01-35-000-72985	29.99
				042121		****6452 GOTOMEETING MONTHLY	

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Voucher List Village of Tinley Park

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25.16						
			(Continued)	011929 CAPITAL ONE BANK (USA), N.A.	5/21/2021	192269
50.00	01-14-000-72720					
50.00	****6452 WORKING LUNCH		042221			
56.93	01-12-000-72220					
	****6452 CLICK'N SHIP		042321			
7.95	01-14-000-72110					
	****6452 DOMAIN NAME		042521			
37.99	01-35-000-72653					
	****6452 METRO CHIEF'S HOME DA		042621			
40.00	01-19-000-72170					
	****6452 CARWASH COUPONS		042621			
900.00	01-17-205-72540					
	****6452 NEW TRUSTEE ORIENTATI		042821			
102.86	01-11-000-72220					
	****6452 LANTERN		050121			
19.74	84-00-000-20199					
	****6452 CLICK N'SHIP		050521			
159.00	01-14-000-72110					
	****6452 CLICK N'SHIP		050521.			
23.85	01-14-000-72110					
	****6452 HR ETHICS SERIES :LEAD		050621			
33.15	01-12-000-72140					
	****6452 SOCIAL MEDIA POSTING 3		051521			
61.53	01-35-000-72720					
	****6452 ICC LIVE EVENT 4/20-LEAD		101071893			
40.00	01-33-300-72140					
	****6452 BLACK CORDE RHEIGHT A	37	112-9822335-886			
199.99	01-35-000-73870					
	****6452 SHARK YARD STAKE	54	113-3686429-1969			
25.98	01-35-000-72923					
	****6452 DECORATIVE GARDEN ST/	07	113-4999036-170			
29.96	01-35-000-72923					
	****6452 POP UP TENTS	3	114101802260442			
219.90	01-35-000-72954					
	****6452 DEWALT 20VMAX BATTER'	620	114-28888038-89			
72.06	60-00-000-73410					
72.06	63-00-000-73410					

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Voucher List Village of Tinley Park

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192269	5/21/2021	011929 CAPITAL ONE BANK (USA), N.A.	(Continued)			
					64-00-000-73410	61.77
			114-6836595-3157851		****6452 POP UP TENT	
					01-35-000-72954	229.94
			12078175		****6452 ZIPLINK FEEDTRU COMM I	
					60-00-000-75812	283.00
			1471915		****6452 MEMBERSHIP B.BETTENF	
					01-15-000-72720	345.00
			2800976		****6452 SIMPLIFILE SYSTEM	
					01-14-000-72355	1,064.00
			30310965VN7403611		****6452 GOVHR 30 DAY SINGL JOB	
					01-12-000-72446	100.00
			31303419		****6452 WORKING LUNCH	
					01-11-000-72220	8.99
					01-12-000-72220	42.35
			6819		****6452 CERTIFICATE OF ACHIEVE	
					01-14-000-72845	460.00
			7001921262		****6452 LEVEL 1 TRAINING CLASS	
				VTP-018339	60-00-000-72140	210.35
				VTP-018339	63-00-000-72140	210.35
				VTP-018339	64-00-000-72140	180.30
			85619-263-1-5B0F		****6452 TRAINING:DIVERSITY,EQU	
					01-12-000-72170	40.00
			Cl3630		****6452 PROOF IT! PROOF READIN	
					01-33-000-72140	149.00
			E88819		****6452 PUBLIC SERVICE WEEK C.	
					84-00-000-20199	489.39
			inv099238347		****6452 SUBSCRIPTION 4/23/21-4/2	
					01-16-000-72140	1,737.00
			PSI1750607		****6452 CPMPOSIT FLOOR STAND	
					01-35-000-72954	672.93
					Total :	8,598.87
192270	5/21/2021	003243 CDW GOVERNMENT INC	C637178		PROLINE NTRON 1000BASE-LX	
					60-00-000-72565	103.90
					63-00-000-72565	103.90
					64-00-000-72565	89.05
					2.22.300.200	22.30

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Voucher List Village of Tinley Park

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Amount	Description/Account	PO #	Invoice	Vendor	Date	Voucher
	VIEWSONIC 24 IN LCD MON		(Continued) C989662	003243 CDW GOVERNMENT INC	5/21/2021	192270
733.36	30-00-000-74128 48" LED SCREEN		D064319			
978.94 2,009.15	01-26-025-72530 Total :	VTP-018396				
	IGNITION ORVERRIDE		2J0003026	015199 CHICAGO PARTS & SOUND LLC	5/21/2021	192271
375.00	01-21-000-72540					
375.00	Total :					
	APR LIAB MAY COLL HOTEL ACCON		0521	003606 CHICAGO SOUTHLAND CONV. V B	5/21/2021	192272
20,589.03	12-00-000-79107					
20,589.03	Total :					
	SEMI LOAD - DUMP FEE		20428	017349 CHICAGO STREET CCDD, LLC	5/21/2021	192273
70.00	01-26-023-72890					
70.00	Total :					
	MEDICINE CABINET - FIRE STATION		5062675920	013820 CINTAS CORPORATION	5/21/2021	192274
155.28	01-19-000-73115					
407.40	MEDICINE CABINET - FIRE STATION		5062675943			
187.12	01-19-000-73115 MEDICINE CABINET - FIRE DEPT TF		5062675960			
39.41	01-19-000-73115		3002073300			
	MEDICINE CABINET - FIRE STATION		5062675975			
66.48	01-19-000-73115					
05.07	MEDICINE CABINET - FIRE STATION		5062675995			
85.67 533.96	01-19-000-73115 Total :					
000.00						
	ACCT#8771401810010702 16250 OF		8771401810010702	012057 COMCAST CABLE	5/21/2021	192275
10.51	01-35-000-72517 ACCT#8771401810028977 7980 183		8771401810028977			
42.04	01-26-025-72517		0// 14010100209//			
12.04	PUBLIC SAFETY INTERNET ACCT#		8771401810296319			
212.33	01-14-000-72125	VTP-018413	-			

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Voucher List Village of Tinley Park

Amount	Description/Account	PO #	Invoice		Vendor	Date	Voucher
264.88	Total :		(Continued)	012057 COMCAST CABLE	012057	5/21/2021	192275
	ACCT#0385181000 18001 80TH AVE		0385181000	COMED - COMMONWEALTH EDISON	013878	5/21/2021	192276
2,338.94	01-26-025-72510						
330.03	ACCT#0385440022 SS BROOKSIDE 64-00-000-72510		0385440022				
000.00	ACCT#0471006425 19948 SILVERSI		0471006425				
52.67	01-26-024-72510						
100.10	ACCT#0637059039 7950 W TIMBER		0637059039				
106.19	64-00-000-72510 ACCT#2922039023 9342 PARKWOC		2922039023				
16.05	01-26-024-72510		2322003023				
	ACCT#4943163008 7650 TIMBER DF		4943163008				
21.43	70-00-000-72510						
2,865.31	Total :						
	<it> LAPTOP REPLACEMENTS</it>		71286035	CONNECTION	018311	5/21/2021	192277
2,247.00	30-00-000-74128	VTP-018376					
114.00	8GB FLASH DRIVES 01-21-000-73870		71286124				
2,361.00	Total:						
,			0.4000.4		000400	5/04/0004	400070
16,634.20	LIABILITY BALANCE 4/30/21 03-127 17-00-000-40116		043021	COOK COUNTY TREASURER	003408	5/21/2021	192278
67.93	17-00-000-40116						
3,996.04	17-00-000-40316						
8,090.12	17-00-000-40317						
28,788.29	Total :						
	LIABILITY BALANCE 4/30/21 03-127		043021.	COOK COUNTY TREASURER	003408	5/21/2021	192279
164.97	19-00-000-40116						
3,085.53	19-00-000-40117						
-1.66 3,248.84	19-00-000-40113 Total :						
	VTP-0183692 HYDRANT METERS		O107166	CORE & MAIN LP	018234	5/21/2021	192280
1,104.60	60-00-000-74175		0107100	OONE & WAIN EI	010234	JIZ 11ZUZ 1	132200

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21/2021 01	8234 CORE & MAIN LP	(Continued) O157204 O172892 O173020		64-00-000-74175 ANNUAL WATER CONSUMER PORT 60-00-000-72655 63-00-000-72655 64-00-000-72655 1/2 CB LID W/PLUG,1/2 WESTERN (60-00-000-73630 63-00-000-73630 64-00-000-73630	473.40 4,473.00 497.00 2,130.00 307.06 34.12
		O172892		ANNUAL WATER CONSUMER PORT 60-00-000-72655 63-00-000-72655 64-00-000-72655 1/2 CB LID W/PLUG,1/2 WESTERN (60-00-000-73630 63-00-000-73630	4,473.00 497.00 2,130.00 307.06 34.12
		O172892		60-00-000-72655 63-00-000-72655 64-00-000-72655 1/2 CB LID W/PLUG,1/2 WESTERN (60-00-000-73630 63-00-000-73630	497.00 2,130.00 307.06 34.12
				63-00-000-72655 64-00-000-72655 1/2 CB LID W/PLUG,1/2 WESTERN (60-00-000-73630 63-00-000-73630	497.00 2,130.00 307.06 34.12
				64-00-000-72655 1/2 CB LID W/PLUG,1/2 WESTERN (60-00-000-73630 63-00-000-73630	2,130.00 307.06 34.12
				1/2 CB LID W/PLUG,1/2 WESTERN (60-00-000-73630 63-00-000-73630	307.06 34.12
				60-00-000-73630 63-00-000-73630	34.12
		O173020		63-00-000-73630	34.12
		O173020			
		O173020		6/1_00_000_73630	
		O173020			146.22
				CURB REPAIR BOX, VOLV BOX RIS	
				60-00-000-73630	76.72
				63-00-000-73630	8.52
				64-00-000-73630	36.54
				Total :	9,287.18
21/2021 01	4690 DARLING INGREDIENTS INC	11585974		CAVALLINI'S CAFE SERVICE FEE TI	
				01-26-025-72530	137.00
				Total :	137.00
21/2021 01	5029 ENECON CORPORATION	PF-31849		CONCRETE REPAIR MATERIAL	
			VTP-018400		4,200.00
			V11 010100		4,200.00
					.,_00.00
21/2021 01	9762 EXCEL WINDOWS INC	PRJ23091			
			VTP-018252	01-26-025-72520	1,292.00
				Total :	1,292.00
21/2021 01	7252 FIRE & SAFETY 101	21-109		BISHOP - HONOR GUARD SEPT 20-	
				01-17-220-72140	275.00
		21-111			
					275.00
				Total :	550.00
21/2021 01	5447 FIVE ALARM FIREWORKS	Memo 21-91		RELEASE OF FIREWORK BOND	
- 1, 202 . 0 .		Mome 21 01			1,000.00
					1,000.00
2 ²	1/2021 01 1/2021 01 1/2021 01	1/2021 014690 DARLING INGREDIENTS INC 1/2021 015029 ENECON CORPORATION 1/2021 019762 EXCEL WINDOWS INC 1/2021 017252 FIRE & SAFETY 101 1/2021 015447 FIVE ALARM FIREWORKS	1/2021 015029 ENECON CORPORATION PE-31849 1/2021 019762 EXCEL WINDOWS INC PRJ23091 1/2021 017252 FIRE & SAFETY 101 21-109 21-111	1/2021 015029 ENECON CORPORATION PE-31849 1/2021 019762 EXCEL WINDOWS INC PRJ23091 VTP-018252 1/2021 017252 FIRE & SAFETY 101 21-109 21-111	Total : 1/2021 014690 DARLING INGREDIENTS INC 11585974 CAVALLINI'S CAFE SERVICE FEE TI 01-26-025-72530 Total : 1/2021 015029 ENECON CORPORATION PE-31849 VTP-018400 O1-26-025-72520 Total : 1/2021 019762 EXCEL WINDOWS INC PRJ23091 VTP-018252 PW GARAGE SECOND FLOOR PLA 01-26-025-72520 Total : 1/2021 017252 FIRE & SAFETY 101 21-109 BISHOP - HONOR GUARD SEPT 20-01-17-220-72140 WHITE-MEYER HONOR GUARD SE 01-17-220-72140 WHITE-MEYER HONOR GUARD SE 01-17-220-72140 Total :

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oucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
192286	5/21/2021	012941	FMP	52-478839		CHEVY TAHOE TIRE PRESSURE S	
						01-19-000-72540	9.58
				52-483825		FRONT PASSENGER DEL 20945139	444.00
				52-485258		01-21-000-72540 REDI - SENSOR RUBBER SNAP	144.23
				32-403230		01-21-000-72540	43.36
						Total :	197.17
192287	5/21/2021	004535	GALLS LLC	018245639		GLOVES,BELT KEEPERS,TAC FOR(
	0,2.,202.	00.000	O, 1220 220	010210000		01-21-000-73610	461.83
						Total :	461.83
192288	5/21/2021	019349	GARVEY'S OFFICE PRODUCTS	PINV2080020		TAPE, POST IT, CLIPS, OPENER, W	
						01-19-000-73110	38.98
				PINV2081808		ORGANIZER	
						01-19-000-73110	65.87
						Total :	104.85
192289	5/21/2021	015397	GOVTEMPSUSA LLC	3721310		P.WALLRICH & M.ROBBINS, WEEK	
						01-33-310-72790	4,223.21
						01-12-000-72790	1,323.00
						Total :	5,546.21
192290	5/21/2021	018636	HARTIGAN & O'CONNOR P.C.	19337		CASE 2017 L 65067 EBERHARDT V	
						01-14-000-72850	651.00
						Total :	651.00
192291	5/21/2021	004640	HEALTHCARE SERVICE CORPORATION	HCSVCS-AP060121		A/C#271855-HEALTH INS EXPENSE	
						01-16-000-72435	832.51
						01-21-210-72435	316.61
						01-26-025-72435	202.87
						60-00-000-72435	119.30
						63-00-000-72435 64-00-000-72435	22.72 60.85
						01-26-025-72435	832.51
						01-26-023-72435	2,607.24
						01-26-024-72435	1,371.20

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
192291	5/21/2021	004640	HEALTHCARE SERVICE CORPORATION	(Continued)			
				HCSVCS-PPAP060121		01-26-023-72430 A/C#271855-HEALTH INS EXP-MAY	-0.02
				1100 V CO-1 1 AT 000 12 1		01-17-205-72435	24,531.68
						Total :	30,897.47
192292	5/21/2021	019784	HEARTLAND BUSINESS SYSTEMS LLC	442708-H		AGREEMENT BILLABLE TIME: T&M	
						01-16-000-72650	990.00
						Total :	990.00
192293	5/21/2021	004746	HEATHER'S HAUS FLORIST	408708		PRESENTATION - MIXED FLOWERS	40.00
						01-35-000-73870 Total :	40.00 40.00
							40.00
192294	5/21/2021	012281	HINCKLEY SPRINGS	5977593051521		WATER COOLER RENTAL	220.04
						01-21-210-73110 Total :	230.84 230.84
192295	E/24/2024	010161	HISKES DILLNER O'DONNELL	12746		FILE#05014.001 TP ETHICS REVIEV	
192293	3/21/2021	019101	HISKES DILLINER O DONNELL	12/40		01-14-000-72850	4,390.00
						Total :	4,390.00
192296	5/21/2021	004955	ILCMA	051421		MEMBERSHIP DAVID NIEMEYER 7/	
						01-12-000-72720	464.00
						Total :	464.00
192297	5/21/2021	005123	ILLINOIS FIRE INSPECTORS ASSOC	22114		TRAINING TUITION - S. FRENCH	
						01-19-000-72145	350.00 350.00
						Total :	350.00
192298	5/21/2021	005127	INGALLS OCCUPATIONAL MEDICINE	295603		APRL'21 EMPLOYEE SCREENINGS	184.00
						01-41-040-72846 Total :	184.00 184.00
400000	E/04/0004	040775	INTEGRAL CONCERNICATION INC	000051/			
192299	5/21/2021	019775	INTEGRAL CONSTRUCTION INC	002REV	VTP-018272	FREEDOM POND LANDSCAPE ENH 16-00-000-75315	58,671.00
					5.02,2	Total:	58,671.00

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192300	5/21/2021	020093	KELLY, THOMAS	051421		REIMBURSE STICKER PAYMENT -S 06-00-000-79005 Total :	23.50 23.50
192301	5/21/2021	005222	LEE JENSEN SALES CO., INC.	10547-00	VTP-018402	PRECISION ROTATING LASER 01-26-023-73410 Total:	1,145.00 1,145.00
192302	5/21/2021	014402	LEXISNEXIS RISK DATA MNGMNT	1038013-20210430		APRIL 2021 MIN COMMITMENT 01-17-225-72852 Total :	150.00 150.00
192303	5/21/2021	016801	LIBERTY FLAG & BANNER	18043	VTP-018411	INSTALLATION OF VETERANS BAN 33-00-000-75612 33-00-000-75612 Total :	1,164.00 148.00 1,312.00
192304	5/21/2021	011258	LONDON, SONNY	051921 051921.		AMHT-SRO ADOL MENTAL HEALTH/ 01-17-220-72140 IJOA CONFERENCE S. LONDON 6/1 01-17-205-72170 Total:	310.00 503.98 813.98
192305	5/21/2021	014846	LORENCE, BRUCE	060121		JUN'21 OPA TRAIN STATION MAINT 01-26-025-72530 Total :	30.00 30.00
192306	5/21/2021	020097	MACKINEY, DONNA	Ref001405526		UB Refund Cst #00504037 60-00-000-20599 Total :	32.52 32.52
192307	5/21/2021	013969	MAP AUTOMOTIVE OF CHICAGO	40-612353 40-612677		PLENUM GSK, SPARK PLUG, KIT-EI 01-17-205-72540 PLENUM GSK	154.68
				40-612717		01-17-205-72540 ELMNT ASY	8.22
				40-612718		01-17-205-72540 PLENUM GSK, SPARK PLUG	25.44

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oucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
192307	5/21/2021	013969	MAP AUTOMOTIVE OF CHICAGO	(Continued)	1 1.		
				,		01-17-205-72540	30.96
						Total :	219.30
192308	5/21/2021	012631	MASTER AUTO SUPPLY, LTD.	15030-102801		PLENUM GASKET, SPARK PLUG	
						01-17-205-72540	45.46
				15030-102895		TIE ROD END,CTRL ARM W/BALL JI	
						60-00-000-72540	89.69
						63-00-000-72540	29.89
						64-00-000-72540	51.25
						Total :	216.29
192309	5/21/2021	006074	MENARDS	4733		MAILBOXES	
						01-26-023-73840	220.19
			4749		FURNACE PIPE, CABLETIES, WATE		
						01-19-000-72520	49.10
				4792		CAN BEV COOLER/HAND TRUCK D	
						01-26-025-72530	325.47
					60-00-000-73410	68.03	
						63-00-000-73410	7.56
					64-00-000-73410	32.39	
			4793		MAILBOXES		
						01-26-023-73840	59.14
				4794		PICK MATTOCK	
						01-26-023-73410	24.99
				4797		GALV NIPPLE/COUPLING	
						60-00-000-73630	56.28
						63-00-000-73630	6.25
						64-00-000-73630	26.80
				4889		PARTS FIREHOUSE 2	
						01-26-025-73410	6.97
				4946		MAILBOXES	
						01-26-023-73840	86.34
				4947		WIRE STRIPPER/STANDBY TOOLS	
						01-26-024-73410	6.99
				4960		FLUTE MASONRY/SQUEEZE TUBE	
						60-00-000-73410	8.04

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192309	5/21/2021	006074 MENARDS	(Continued)			
			,		63-00-000-73410	0.89
					64-00-000-73410	3.83
					Total :	989.26
192310	5/21/2021	014443 MURPHY & MILLER, INC	MC0000		VTP-17907 1ST SEMI-ANNUAL BILL	
					01-26-025-72790	587.00
			MC00009802		1ST SEMI-ANUAL BILLING OF 2 PRI	
					01-26-025-72790	436.00
					Total :	1,023.00
192311	5/21/2021	015723 NICOR	33079168366		ACCT#33079168366 METER438535	
					64-00-000-72511	46.91
			49924710004		ACCT#49924710004 METER 458175	
					01-26-025-72511	233.12
					Total :	280.03
192312	5/21/2021	018100 OROZCO, JOSEPH	051921		PERFORMANCE JUNE 5 FARMERS	
					01-35-000-72923	75.00
					Total :	75.00
192313	5/21/2021	006475 PARK ACE HARDWARE	065703/1		ACCT#891432 INV065703/1 EXCHAI	
					60-00-000-72220	6.72
					63-00-000-72220	6.72
					64-00-000-72220	5.75
					01-26-023-72220	19.19
					01-26-024-72220	9.59
			065706/1		ACCT#891432 INV065706/1 CLEANF	
					01-26-025-73580	6.07
			065707/1		ACCT#891431 INV065707/1 NIPPLE	
					60-00-000-73630	13.99
					63-00-000-73630	1.55
					64-00-000-73630	6.66
					Total :	76.24
192314	5/21/2021	006735 PHOTOS BY RICK	5716		PROFESSIONAL PHOTOGRAPH - S	
				VTP-018419	01-11-000-72790	549.00

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/oucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192314	5/21/2021	006735 PHOTOS BY RICK	(Continued)			
				VTP-018419	01-12-000-72790	175.00
				VTP-018419	01-13-000-72790	35.00
				VTP-018419	01-33-300-72790	70.00
				VTP-018419	01-26-023-72790	35.00
				VTP-018419	01-15-000-72790	70.00
					Total :	934.00
192315	5/21/2021	006780 POMP'S TIRE SERVICE, INC	410863973		LT245/75 R17 FIRESTONE TIRES UI	
				VTP-018403	60-00-000-73560	317.84
				VTP-018403	63-00-000-73560	105.95
				VTP-018403	64-00-000-73560	181.61
					Total :	605.40
192316	5/21/2021	013587 PROSHRED SECURITY	990085573		SHREDDING SERVICES @ PD	
					01-17-205-72750	169.60
					Total :	169.60
192317	5/21/2021	006850 QUILL CORPORATION	16573283		FILE PKT,FILE STEP,POST ITS	
					01-33-000-73110	78.07
					Total:	78.07
192318	5/21/2021	020099 RATLEDGE, ROBIN	Ref001405528		UB Refund Cst #00513213	
					60-00-000-20599	29.36
					Total :	29.36
192319	5/21/2021	006361 RAY O' HERRON CO INC	2113762-IN		RAZOR II G2	
					01-17-220-73610	764.44
			2113766-IN		RAZOR II G2	701.11
					01-17-220-73610	764.44
			2113885-IN		SLIM JIM	
					01-17-220-73600	20.56
					Total :	1,549.44
192320	5/21/2021	014110 RIVERA, JOSE	052021		PERFORMANCE OF FIVE GUYS NA	
				VTP-018415	01-35-000-72923	800.00
					Total:	800.00

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192321	5/21/2021	013234 ROMEOVILLE FIRE ACADEMY	2021-249		TRAINING TUITION - W. TURNER	
					01-19-000-72145	850.00
					Total :	850.00
192322	5/21/2021	007629 SAM'S CLUB DIRECT	001433		8' BANQUET	
					01-26-025-74110	479.88
			051321		WATER, PLATES, CUTLERY, CHIPS	
					01-26-024-72220	28.46
				01-26-024-73115	9.96	
					01-26-023-72220	56.92
					01-26-023-73115	19.92
					60-00-000-73115	13.94
					64-00-000-73115	5.98
					60-00-000-72220	19.92
					63-00-000-72220	19.92
					64-00-000-72220	17.08
			051721		PAPER TOWELS, FEBREZE, VENDIN	
					01-14-000-73115	92.11
					01-26-024-72220	4.37
					01-26-024-73870	4.79
					01-26-023-72220	8.75
					01-26-023-73870	9.58
					60-00-000-72220	3.06
					63-00-000-72220	3.06
					64-00-000-72220	2.63
					60-00-000-73870	3.53
					63-00-000-73870	3.53
					64-00-000-73870	2.52
					01-26-025-73580	55.75
					Total :	865.66
192323	5/21/2021	007092 SAUNORIS	655395		SOD AND PALLET CHARGE	
					01-26-023-73680	680.00
			655539		SOD	
					01-26-023-73680	300.00
					Total :	980.00

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oucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
192324	5/21/2021	007346	SCHMECKPEPER, GREGORY	042721.		GLOCK ADV ARMORER - G SCHME	
						01-17-220-72140	30.00
						Total :	30.00
192325	5/21/2021	008710	SHERVINO, ROBERT	030721		ADVANCE PER DIEM: LODG, MEALS	
						01-17-205-72170	503.98
				042721		ILEAS/BUILD TRUST R. SHERVINO	
						01-17-220-72140	45.00
						Total :	548.98
192326	5/21/2021	017445	SIEVERT ELECTRIC/CRANE & HOIST	S98772		ANNUAL INSPECTION ELECTRIC C	
						01-19-000-72750	627.00
						Total :	627.00
192327	5/21/2021	017378	SIKICH LLP	506701		FINAL BILL TO AUDIT YE 4/30/21	
						01-14-000-72845	500.00
						Total :	500.00
192328	5/21/2021	013043	SITE DESIGN GROUP, LTD.	7482PH2-45		LANDSCAPE PLANNING 3/21-4/30/2	
					VTP-017897	01-26-023-72847	6,935.00
				7698-66		VTP-017852 TP NATURAL AREAS M	
						65-00-000-72847	535.00
				7946-47	VTD 017024	FIELD INSPECTIONS 2/21-4/30/21	755.00
				8322-31	VTP-017834	01-26-023-72847 FAIRFIELD GLEN POND RESTORAT	755.02
				0022-01	VTP-017820	30-00-000-73681	1,257.50
				8323-32		APPLE LANE POND RESTORATION	1,
					VTP-017819	30-00-000-73681	1,202.50
				8498-28		URBN FORESTRY PROGRAM 3/21-4	
					VTP-017837	01-26-023-72847	7,081.35
						Total :	17,766.37
192329	5/21/2021	007297	SUTTON FORD INC./FLEET SALES	528062		SOCKETASY	
						01-17-205-72540	203.84
						Total :	203.84
192330	5/21/2021	002957	THE BREWER COMPANY	158725		YELLOW LATEX, SUCTION FILTER,	

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/oucher	Date	Vendor		Invoice	PO #	Description/Account	Amoun
192330	5/21/2021	002957	THE BREWER COMPANY	(Continued)			
						01-26-023-73620	353.45
						Total :	353.45
192331	5/21/2021	007777	THOMPSON ELEVATOR INSPECTION	21-1330		46 SEMI-ANNUAL ELEV CODE INSP	
						01-33-300-72853	1,748.00
						Total :	1,748.00
192332	5/21/2021	020098	TITLE LENDERS INC	Ref001405527		UB Refund Cst #00512516	
						60-00-000-20599	53.91
						Total :	53.91
192333	5/21/2021	019712	TM TIRE CO INC	131724		TRAILOR TOW	
						01-21-000-72540	178.00
				132042		(4) 12R 22.5 FIRESTONE TIRES ON	
					VTP-018404	01-26-023-73560	1,585.00
						Total :	1,763.00
192334	5/21/2021	012259	TPC TRAINING	218753		2 DAY ARC FLASH ELECTRICAL TR	
				VTP-018390	01-26-024-72140	3,585.00	
					VTP-018390	60-00-000-72140	418.25
					VTP-018390	63-00-000-72140	418.2
					VTP-018390	64-00-000-72140	358.50
						Total :	4,780.00
192335	5/21/2021	013200	TRIBUNE PUBLISHING COMPANY	035596515000		CLASSIFIED LISTING 4/1/21-4/30/21	
						01-33-310-72330	154.00
						Total :	154.00
192336	5/21/2021	014510	TRUGREEN	137939753		LAWN TREATMENT 5/5/21 175TH S	
					VTP-018310	01-26-023-72881	40.00
				137970229		LAWN TREATMENT 9191 175TH ST	
				407070000	VTP-018310	01-26-023-72881	40.00
				137973006	VTP-018310	LAWN TREATMENT 5/6/21 183RD & 01-26-023-72881	100.00
				137974809	V 17-U 103 IU	LAWN TREATMENT 167TH ST PUMF	180.00
				101017000	VTP-018310	01-26-023-72881	90.00
							23.00

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/oucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192336	5/21/2021	014510 TRUGREEN	(Continued)			
			137988136		LAWN TREATMENT 5/6/21 HARLEM	
				VTP-018310	01-26-023-72881	290.00
			137996325		LAWN TREATMENT WATERSFORD	
				VTP-018310	01-26-023-72881	90.00
			138001295		LAWN TREATMENT 5/6/21 167TH S	
				VTP-018310	01-26-023-72881	40.00
			138007945		LAWN TREATMENT 5/6/21 7980 183	
				VTP-018310	01-26-023-72881	90.00
			138016889		LAWN TREATMENT 5/6/21 VH	
				VTP-018310	01-26-023-72881	90.00
			138024760		LAWN TREATMENT 5/6/21 RETENTI	
				VTP-018310	01-26-023-72881	575.00
			138072468		LAWN TREATMENT 5/7/21 172NT ST	
				VTP-018310	01-26-023-72881	47.00
					Total :	1,572.00
192337	5/21/2021	004106 TYLER TECHNOLOGIES, INC	045-338830		EXECUTIME LICENSE INCREASE	
				VTP-016786	30-00-000-74139	3,021.00
				VTP-016786	60-00-000-74139	1,007.00
					Total :	4,028.00
192338	5/21/2021	002613 UNITED HEALTHCARE AARP	AARP-AP060121		MAY 21 PYMT FOR JUNE 21 COVEF	
					01-33-300-72435	141.91
					01-13-000-72435	232.87
					60-00-000-72435	129.04
					01-17-205-72435	141.91
					60-00-000-72435	324.39
					01-15-000-72435	110.29
					01-26-024-72435	229.90
					01-26-023-72435	116.55
					60-00-000-72435	214.86
					01-17-205-72435	87.41
					60-00-000-72435	43.72
					01-26-025-72435	43.69
					01-17-205-72435	174.82
			AARP-PPAP060121		AARP POLICE PENSION MAY PMT/	

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oucher/	Date	Vendor		Invoice	PO#	Description/Account	Amoun
						<u> </u>	Amoun
192338	5/21/2021	002613 UN	ITED HEALTHCARE AARP	(Continued)		01-17-205-72435	2,785.20
						Total :	4,776.56
100000	E/04/0004	007007 LINI	ITED METHODIST CHURCH	060121		JUNE'21 PARKING RENTAL	·
192339	5/21/2021	007967 UN	ITED METHODIST CHURCH	000121		70-00-000-72621	1,200.00
						Total :	1,200.00
						iotai .	1,200.00
192340	5/21/2021	010579 UN	IVERSITY OF ILLINOIS	UPI10393		TRAINING:PATROL RIFLE INSTRUC	
						01-17-220-72140	446.00
						Total :	446.00
192341	5/21/2021	008142 VE	GA, JOSE	051321		LODGING AND PER DIEM ILEAS TR	
						01-17-220-72140	497.68
						Total :	497.68
92342	5/21/2021	011416 VEF	RIZON WIRELESS	9879725252		ACCT 280481333-00001 DATA 4/14-{	
						11-00-000-72127	73.73
						01-11-000-72127	216.06
						01-35-000-72127	108.03
						60-00-000-72127	189.08
						64-00-000-72127	189.08
						63-00-000-72127	162.08
						01-33-000-72127	360.10
						01-12-000-72127	72.02
						01-13-000-72127	36.01
						01-15-000-72127 01-16-000-72127	36.01 216.06
						01-17-220-72127	1,733.01
						01-17-225-72127	504.25
						01-19-000-72127	540.40
						01-19-020-72127	108.03
						01-21-000-72127	288.08
						01-26-023-72127	540.15
						01-26-025-72127	252.07
				9879725253		ACCT 2804813333-00003 MOBILE 4	
						01-11-000-72120	299.16

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192342	5/21/2021	011416 VERIZON WIRELESS	(Continued)			
					01-12-000-72120	126.90
					01-13-000-72120	84.60
					01-14-000-72120	12.39
					01-15-000-72120	84.77
					01-16-000-72120	335.77
					01-17-205-72120	4,078.18
					01-19-000-72120	228.29
					01-19-020-72120	217.70
					01-21-000-72120	86.37
					01-21-210-72120	215.04
					01-26-023-72120	1,240.68
					01-26-024-72120	134.01
					01-26-025-72120	263.28
					01-33-300-72120	211.50
					01-33-310-72120	216.50
					01-35-000-72120	42.30
					60-00-000-72120	422.65
					64-00-000-72120	201.26
					63-00-000-72120	46.97
			9879726636		285837077-00001 TELLULAR 4/14-5	
					01-17-205-72127	8.85
					Total :	14,181.42
192343	5/21/2021	006362 VILLAGE OF OAK LAWN	7485		IEPA REICH LOAN PAY REIMBURSE	
					60-00-000-73221	216,204.43
			7493		IEPA TRANSMISSION MAIN 4A REIN	-,
					60-00-000-73221	181,673.88
					Total :	397,878.31
192344	5/21/2021	008158 VIOLETTO JR, RAYMOND	033021		PER DIEM: LODG, MEALS/IJOA CON	
102011	0/21/2021	TOO TOO THE ETTE ON, THE HIMOND	00002.		01-17-205-72170	503.98
					Total :	503.98
192345	5/21/2021	010165 WAREHOUSE DIRECT WORKPLS	SOLTNS 4954370-0		SHARPIE,STAMPS,MARKER,PENCII	
132343	J/2 1/202 I	OTOTOS WAREHOUSE DIRECT WORKERS	JOETING 4804070-0		01-21-210-73110	105.02
			4955990-0			105.02
			4900990-0		FILE, CARD, BUS, 600 BK METL	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192345	5/21/2021	010165 WAREHOUSE DIRECT WORK	(PL SOLTNS (Continued)			
			,		60-00-000-73110	3.78
					63-00-000-73110	0.42
					64-00-000-73110	1.80
					01-26-023-73110	6.00
					01-26-024-73110	2.99
					Total :	120.01
192346	5/21/2021	020094 YU, FEIYUN	051721		TOKEN RETURN - COMMUTER LOS	
		•			70-00-000-79000	30.00
					Total :	30.00
9	3 Vouchers	for bank code: apbank			Bank total :	672,307.45

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Voucher	Date
Bank code :	ipmg

/auahar	Doto	Vandar		Invaige	PO #	Description/Assount	A marini
/oucher	Date	Vendor		Invoice	<u>PU#</u>	Description/Account	Amoun
3173	5/18/2021	018837	INSURANCE PROGRAM MANAGERS GR	200803W006-6		PAYEE-IPMG	47.00
						01-14-000-72542 Total :	47.23 47.2 3
							77.20
3174	5/18/2021	018837	INSURANCE PROGRAM MANAGERS GR	201019W041		PAYEE-ALIGN NETWORKS INC	200.0
						01-14-000-72542 Total :	892.04 892.0 4
							032.04
3175	5/18/2021	018837	INSURANCE PROGRAM MANAGERS GR	200803W006		PAYEE-ALIGHN NETWORKS INC	
						01-14-000-72542 Total :	293.79 293.7 9
						iotai.	293.73
3176	5/18/2021	18/2021 018837 INSURANCE PROGRAM M	INSURANCE PROGRAM MANAGERS GR	S GRI 200803W006-2		PAYEE-ALIGN NETWORKS INC	
						01-14-000-72542	233.30
						Total :	233.30
3177	5/18/2021	018837	INSURANCE PROGRAM MANAGERS GR	201130W025		PAYEE-ILLINOIS BONE AND JOINT	
				01-14-000-72542	179.84		
						Total :	179.84
3178	5/18/2021	018837	INSURANCE PROGRAM MANAGERS GR	PROGRAM MANAGERS GRI 201019W041		PAYEE-ILLINOIS BONE AND JOINT	
					01-14-000-72542	283.09	
						Total :	283.09
3179	5/18/2021	018837	INSURANCE PROGRAM MANAGERS GR	201019W041-2		PAYEE-ILLINOIS BONE AND JOINT	
						01-14-000-72542	472.37
						Total :	472.37
3180	5/18/2021	018837	INSURANCE PROGRAM MANAGERS GR	201130W025-2		PAYEE-ILLINOIS BONE AND JOINT	
				01-14-000-72542		81.66	
						Total :	81.66
3181	5/18/2021	018837	INSURANCE PROGRAM MANAGERS GR	201130W025-3	PAYEE-ILLINOIS BONE AND JOINT		
				01-14-000-72542	356.21		
						Total :	356.21
3182	5/18/2021	018837	INSURANCE PROGRAM MANAGERS GR	200803W006		PAYEE-LOYOLA UNIVERSITY MED (
						01-14-000-72542	62.78

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Bank code: ipmg

/oucher	Date	Vendor	Invoice	PO#	Description/Account	Amount
3182	5/18/2021		018837 INSURANCE PROGRAM MANAGERS (Continued)		Total :	62.78
3183	5/18/2021	018837	INSURANCE PROGRAM MANAGERS GR 210216W028-2		PAYEE-LOYOLA UNIVERSITY MED (01-14-000-72542 Total :	62.78 62.78
3184	5/18/2021	018837	INSURANCE PROGRAM MANAGERS GRI 210216W028-3		PAYEE-LOYOLA UNIVERSITY MED (01-14-000-72542 Total :	64.37 64.37
3185	5/18/2021	018837	INSURANCE PROGRAM MANAGERS GRI 210216W028-4		PAYEE-LOYOLA UNIVERSITY MED (01-14-000-72542 Total :	102.04 102.04
3186	5/18/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024		PAYEE-PARKVIEW ORTHOPAEDIC (01-14-000-72542 70-00-000-72542 Total :	1,741.72 1,741.71 3,483.43
3187	5/18/2021	018837	INSURANCE PROGRAM MANAGERS GRI 200505W003-2		PAYEE-PETERSON JOHNSON & ML 01-14-000-72542 Total :	370.50 370.50
3188	5/18/2021	018837	INSURANCE PROGRAM MANAGERS GRI 200219W023		PAYEE-PETERSON JOHNSON & ML 01-14-000-72542 Total :	4,472.00 4,472.00
3189	5/18/2021	018837	INSURANCE PROGRAM MANAGERS GRI 191105W030		PAYEE-PETERSON JOHNSON & MU 01-14-000-72542 Total :	234.00 234.00
3190	5/18/2021	018837	INSURANCE PROGRAM MANAGERS GRI 200211W025		PAYEE-PETERSON JOHNSON & ML 01-14-000-72542 Total :	39.00 39.00
3191	5/18/2021	018837	INSURANCE PROGRAM MANAGERS GR 201130W025		PAYEE-SILVER CROSS HOSPITAL 01-14-000-72542	4,194.43

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
3191	5/18/2021	018837	018837 INSURANCE PROGRAM MA	ANAGERS (Continued)		Total :	4,194.43
3192	5/18/2021	018837 II	NSURANCE PROGRAM MANAGERS GI	R 210323W028		PAYEE-VILLAGE OF TINLEY PARK 01-14-000-72542 Total :	1,745.66 1,745.66
3193	5/18/2021	018837	NSURANCE PROGRAM MANAGERS GI	R 210421W008		PAYEE-VILLAGE OF TINLEY PARK 01-14-000-72542 Total:	1,704.52 1,704.52
2	1 Vouchers	for bank c	ode : ipmg			Bank total :	19,375.04
119	Vouchers	in this rep	ort			Total vouchers :	733,812.54

The Tinley Park Village Board having duly met at Village Hall do hereby certify that the following claims or demands against said village were presented and are approved for payment as presented on the above listing.

In witness thereof, the Village President and Clerk of the Village of Tinley Park, hereunto set their hands.

____Village President
____Village Clerk
_____Date

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Bank code :	apbank						
Voucher	Date	Vendor		Invoice	PO#	Description/Account	Amount
192348	5/28/2021	020081	ABDO, AHMAD	051121		MAILBOX REMBURSEMENT 8336 W 01-26-023-73840 Total :	1,875.00 1,875.00
192349	5/28/2021	018354	ADELAKUN, OLATUNDE	Ref001405832		UB Refund Cst #00503870 60-00-000-20599 Total :	220.17 220.17
192350	5/28/2021	010318	ADVOCATE CHRIST MEDICAL CNTR	052421		CPR SUPPLIES - 5 HEARTSAVER C 01-19-020-73606 Total :	85.00 85.00
192351	5/28/2021	019563	AEP ENERGY INC	3013134248		ACCT#3013134248 4384028017 681 01-26-024-72510 Total :	46.23 46.23
192352	5/28/2021	011466	ALBERTSONS/SAFEWAY	052421		****0415 SALT AND SODA FOR VEN 01-14-000-73115 Total :	17.95 17.95
192353	5/28/2021	020071	AMSIVE LLC	545826		APRIL'21 LATE NOTICES 60-00-000-72310 64-00-000-72310 60-00-000-72110 64-00-000-72110 Total:	259.41 111.17 396.94 170.11 937.63
192354	5/28/2021	011720	APWA	761502		MEMBERSHIP FOR J.URBANKSI 01-26-023-72720 60-00-000-72720 63-00-000-72720 64-00-000-72720 Total :	97.50 57.33 10.92 29.25 195.00
192355	5/28/2021	014936	AQUAMIST PLUMBING & LAWN	106087	VTP-018430	REINSTALL IRRIGATION DAMAGED 01-26-025-72530	5,704.68

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192355	5/28/2021	014936 AQUAMIST PLUMBING & LAWN	(Continued)			
			109728		START UP & BLOW OUT TP POLICE	
				VTP-017868	01-26-025-72790	849.70
			109749		START UP & BLOW OUT FIRE STAT	
				VTP-017868	01-26-025-72790	397.80
			109756		START UP & BLOW OUT VILLAGE H	
				VTP-017868	01-26-025-72790	1,008.55
			109763		IRRIGATION 171ST ST MEDIANS 5/	
				VTP-018321	01-26-023-72790	1,005.12
			109770		IRRIGATION HARLEM AV AND 183R	
				VTP-018321	01-26-023-72790	2,537.30
			109777		START UP SERVICES LAGRANGE I	
				VTP-018321	01-26-023-72790	3,224.75
			109784		START UP & BLOW OUT OAK PARK	
				VTP-017868	01-26-025-72790	777.56
			109790		START UP & BLOW OUT OAK PARK	
				VTP-017868	01-26-025-72790	230.00
			109796		IRRIGATION ZABROCKI PLAZA 5/11	
				VTP-018321	01-26-023-72790	986.86
			111545		RPZ TEST AND FILING FEE	
					01-26-025-72790	121.00
			111546		RPZ TESTING ANF FILING TP FIRE	
				VTP-017868	01-26-025-72790	242.00
					Total :	17,085.32
192356	5/28/2021	010953 BATTERIES PLUS - 277	P39905740		SLA12-8F	
					14-00-000-74150	140.00
					Total:	140.00
192357	E/20/2024	002974 BETTENHAUSEN CONSTRUCTION SER	V 240060		TRUCK FOR HAULING SWEEPINGS	
192357	3/20/2021	002974 BETTENHAUSEN CONSTRUCTION SER	V 2 10069			055.00
					01-26-023-72890	255.00
					60-00-000-73681	374.85
					63-00-000-73681	41.65
			040070		64-00-000-73681	178.50
			210070		TRUCK TIME FOR HAULING SPOILS	450.00
					01-26-023-72890	150.00
					60-00-000-73681	220.50

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192357	5/28/2021	002974 BETTENHAUSEN CONSTRUCTION SER	RV (Continued)			
					63-00-000-73681	24.50
					64-00-000-73681	105.00
					Total :	1,350.00
192358	5/28/2021	002923 BLACK DIRT INC.	331		PULVERIZED DIRT	
					01-26-023-73680	360.00
					Total :	360.00
192359	5/28/2021	020109 BONANZA BINS	Ref001405834		UB Refund Cst #00512575	
					60-00-000-20599	36.41
					Total :	36.41
192360	5/28/2021	003396 CASE LOTS INC	4800		CAN LINERS	
				01-26-025-73580	497.00	
			4801	MULTIFOLD TOWELS AND TOILET F		
					01-26-025-73580	438.70
					Total :	935.70
192361	5/28/2021	2021 018060 CELTIC COMMERCIAL PAINTING,LLC	8997		MAYOR OFFICE - PAINTING	
				01-26-025-72790	432.00	
					Total :	432.00
192362	5/28/2021	017349 CHICAGO STREET CCDD, LLC	20479		DUMP FEES	
				01-26-023-72890	280.00	
				Total :	280.00	
192363	5/28/2021	013820 CINTAS CORPORATION	5062675919		MEDICINE CABINET -POLICE DEPA	
		5/25/252 * 0.16625			01-26-025-73117	177.55
			5062675935		MEDICINE CABINET - POLICE DEPA	
			5000075044		01-26-025-73117	51.60
			5062675944		MEDICINE CABINET -PUMP HOUSE 01-26-025-73117	66.39
			5062675966		MEDICINE CABINET - PUMP HOUSE	00.59
			2.3.20.0000		01-26-025-73117	14.25
			5062675971		MEDICINE CABINET - PW GARAGE	
					01-26-025-73117	182.42

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Date	Vendor	Invoice	PO #	Description/Account	Amount
5/28/2021	013820 CINTAS CORPORATION	(Continued)			
		5062675975		MEDICINE CABINET - FIRE STATION 01-26-025-73117	66.48
		5062675976		MEDICINE CABINET - VILLAGE HAL	
		5062675082			138.04
		3002073302		01-26-025-73117	290.32
				Total :	987.05
5/28/2021	013820 CINTAS CORPORATION	4084449865		MATS-PW	
				01-26-025-72790	185.64
		4084791656			89.31
				Total:	274.95
5/28/2021	013344 CITPLY SYSTEMS INC	02102731		CITRIY ANNI IAL LICENSE MAY'21 M	
3/20/2021	013344 CITTAX 3131EMS, INC	92192131	VTP-018433		244.02
					217.14
			VTP-018433	01-13-000-72655	217.14
			VTP-018433	01-15-000-72655	270.91
			VTP-018433	01-16-000-72655	162.34
			VTP-018433	01-17-205-72655	868.56
			VTP-018433	01-19-020-72655	217.14
			VTP-018433	01-21-210-72655	569.73
			VTP-018433	01-26-023-72655	678.30
			VTP-018433	01-26-025-72655	407.40
			VTP-018433	01-33-300-72655	217.14
			VTP-018433	01-33-310-72655	217.14
			VTP-018433	01-33-320-72655	53.77
			VTP-018433	01-35-000-72655	190.26
			VTP-018433	60-00-000-72655	325.71
			VTP-018433	63-00-000-72655	53.77
			VTP-018433	64-00-000-72655	164.41
			VTP-018433	01-21-000-72655	190.25
			VTP-018433	01-19-000-72655	1,100.00
			VTP-018433	01-17-215-72655	26.88
			VTP-018433	01-17-217-72655	26.88
	5/28/2021	Date Vendor 5/28/2021 013820 CINTAS CORPORATION 5/28/2021 013820 CINTAS CORPORATION 5/28/2021 013344 CITRIX SYSTEMS, INC	5/28/2021 013820 CINTAS CORPORATION (Continued) 5062675975 5062675976 5062675982 5062675982 5/28/2021 013820 CINTAS CORPORATION 4084449865 4084791656	5/28/2021 013820 CINTAS CORPORATION (Continued) 5062675975 5062675976 5062675982 5/28/2021 013820 CINTAS CORPORATION 4084449865 4084791656 5/28/2021 013344 CITRIX SYSTEMS, INC 92192731 VTP-018433 VT	5/28/2021 013820 CINTAS CORPORATION (Continued) 5062675975 MEDICINE CABINET - FIRE STATION 01-26-025-73117 MEDICINE CABINET - VILLAGE HAL 01-26-025-73117 MEDICINE CABINET - VILLAGE HAL 01-26-025-73117 MEDICINE CABINET - PUBLIC SAFE 01-26-025-73117 Total : 5/28/2021 013820 CINTAS CORPORATION 4084449865 MATS - PW 01-26-025-72790 MATS - PD 01-26-025-72790 Total : 5/28/2021 013344 CITRIX SYSTEMS, INC 92192731 CITRIX ANNUAL LICENSE MAY'21-N 01-11-000-72655 VTP-018433 01-11-000-72655 VTP-018433 01-13-000-72655 VTP-018433 01-15-000-72655 VTP-018433 01-15-000-72655 VTP-018433 01-17-005-72655 VTP-018433 01-17-005-72655 VTP-018433 01-12-007-72655 VTP-018433 01-33-310-72655 VTP-018433 01-30-0000-72655 VTP-0184

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192365	5/28/2021	013344	CITRIX SYSTEMS, INC	(Continued)			
					VTP-018433	01-17-220-72655	1,710.24
					VTP-018433	01-17-225-72655	270.91
					VTP-018433	01-19-000-72655	3,039.96
						Total :	11,440.00
192366	5/28/2021	012917	COLLEGE OF DUPAGE	052021		#1242974 FIELD TRAINING/SOKOL(
						01-17-220-72140	400.00
						Total :	400.00
192367	5/28/2021	012057	COMCAST CABLE	8771401810316240		ACCT#8771401810316240 7850 183	
						01-17-205-72517	42.96
				8771401810784702		ACCT#8771401810784702 16250 OF	
						01-19-000-72517	301.84
						Total :	344.80
192368	5/28/2021	013892	COMED	6771163043		ACCT#6771163043 87TH AVE,3PS 1	
						01-26-024-72510	3,044.67
				6771163052		ACCT#6771163052 RT25 TRAFFIC \$	
						01-26-024-72510	1,486.05
						Total :	4,530.72
192369	5/28/2021	013878	COMED - COMMONWEALTH EDISON	0052035006		ACCT#0052035006 6720 SOUTH ST	
						01-26-025-72510	1,176.94
				0421064066		ACCT#0421064066 LAPORTE RD &	
						64-00-000-72510	205.57
				0519019106		ACCT#0519019106 6750 SOUTH ST	
				4000450050		12-00-000-72510	5.46
				4803158058		ACCT#4803158058 RIDGEFIELD LF 64-00-000-72510	116.60
				5437131000		ACCT#5437131000 7980 W 183RD \$	110.00
				5 4 57 151000		01-26-025-72510	191.53
				5983017013		ACCT#5983017013 19112 S 80THAV	101.00
						63-00-000-72510	116.49
						Total :	1,812.59
192370	5/28/2021	012410	CONSERV FS, INC.	66043435		STRUCTRON PB24 BROOM - BLACI	

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Voucher	Date	Vendor		Invoice	PO #	Description/Account	Amount
192370	5/28/2021	012410	CONSERV FS, INC.	(Continued)			
						01-26-023-73410	98.64
						Total :	98.64
192371	5/28/2021	018234	CORE & MAIN LP	O235604		HYMAX 2 FLIP CPLG	
						60-00-000-73630	386.18
						63-00-000-73630	42.91
						64-00-000-73630	183.89
						Total :	612.98
192372	5/28/2021	003475	COUNTY OF WILL	TINLEYPAR2021		2021 WARRANT SVC PER INTERGO	
						01-17-205-72720	4,264.98
						Total :	4,264.98
192373	5/28/2021	003635	CROSSMARK PRINTING, INC	82569		HOMETOWN HERO BANNERS	
						33-00-000-75612	1,540.00
				82649		BUSINESS CARDS J.TOUHY	.,0.000
						01-17-205-72310	36.65
				82664		BUSINESS CARDS K.KARCZEWSKI	
						01-33-000-72310	33.00
				82686		PATROL OFFICER BLANK CARDS	
						01-17-205-72310	138.65
				82701		2021 AUDIT FINANCIAL COVERS	
						01-14-000-72310	191.72
				82722		DOOR HANGERS	
				00770		01-17-205-72310	152.87
				82779		MUSIC IN THE PLAZA BANNER	04.47
						01-35-000-72923	81.17
						Total :	2,174.06
192374	5/28/2021	012855	CYLINDERS INC.	10189		LABOR TO REPAIR PLOW CYLINDE	
						01-26-023-72530	1,062.96
						Total :	1,062.96
192375	5/28/2021	003816	D & H LAWN IRRIGATION INC.	149987		RPZ TEST - HYDRANT METER BAC	
						60-00-000-72790	210.00
						Total :	210.00

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192376	5/28/2021				
	3/20/2021	011176 ELEMENT GRAPHICS & DESIGN, INC	17564	2017 FORD INTEREPTOR KIT	
				01-17-205-72540 Total :	758.83 758.83
192377	5/28/2021	004119 ETP LABS INC.	21-135225	COLIFORM SAMPLES	
	0, 20, 202			60-00-000-72865	400.40
				63-00-000-72865 Total :	171.60 572.00
					5/2.00
192378	5/28/2021	004019 EVON'S TROPHIES & AWARDS	051721	BENCH PLATES 4X6 TO ATTACH QF 01-35-000-72923	240.00
			051921	YAMBO OFFICER RAINS 2013-2021	240.00
				01-17-205-72974	65.00
				Total :	305.00
192379	5/28/2021	018480 FARNSWORTH GROUP	224983	0170121.24 VTP VEQUITY/STARBU(
			224984	01-33-310-72847 0170121.25 VTP SCANNELL IND DE	660.00
			22 100 1	01-33-310-72790	825.00
				Total :	1,485.00
192380	5/28/2021	010437 FBI - LEEDA	200052933	IA TRAINING 3/2021 - T.POULOS	
				01-17-205-72140 Total :	695.00 695.00
					093.00
192381	5/28/2021	004298 FUN FUN FUN DJ'S	051121	CRUISE NIGHT DJ JUNE 1 '21 01-35-000-72923	175.00
			051121.	CRUISE NIGHT DJ WERVICES FOR	173.00
				01-35-000-72923	175.00
				Total :	350.00
192382	5/28/2021	019349 GARVEY'S OFFICE PRODUCTS	PINV2082760	FILE STORAGE BOXES AND PROTE	
			PINV2083590	01-19-000-73110 PICTURE HANGING STRIP	115.67
			1 11 11 2000000	01-19-000-73110	65.77
				Total :	181.44
192383	5/28/2021	015397 GOVTEMPSUSALLC	3729865	P.WALLRICH & M.ROBBINS, WEEK	

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oucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192383	5/28/2021	015397 GOVTEMPSUSALLC	(Continued)			
					01-12-000-72790	2,598.75
					01-33-310-72790	4,610.66
					Total :	7,209.41
192384	5/28/2021	019423 GREATER ILLINOIS TITLE	13		11-320 THE BLVD AT CENTRAL STA	
					27-00-000-75300	34,470.98
			13.		11-320 THE BLVD AT CENTRAL STA	
					27-00-000-75300	34,470.99
					Total :	68,941.97
192385	5/28/2021	014491 HANSEN DOOR INC.	10035		REPLACED BROKEN HINGE AND C.	
					01-26-025-72520	160.83
					Total :	160.83
192386	5/28/2021	019792 HANSON AGGREGATES MIDWEST INC	40456023		BED/BACKFILL GRADE 8 STONE	
					70-00-000-73860	127.00
				01-26-023-73860	381.00	
					60-00-000-73860	480.07
					63-00-000-73860	53.34
					64-00-000-73860	228.60
					Total :	1,270.01
192387	5/28/2021	010238 HOME DEPOT CREDIT SERVICES	052421		****2304 DYSON VACUUM STICK	
					01-26-025-73580	399.00
					Total :	399.00
192388	5/28/2021	001487 HOMEWOOD DISPOSAL SERVICE	7402736		HWD TSF SWEEPINGS 5/14/21	
					01-26-023-72890	4,681.50
					Total :	4,681.50
192389	5/28/2021	017779 HUNTER EQUIPMENT SERVICE OF	CHI020-3159		SERVICE CALL TO REPLACE #3 LIF	
					01-26-023-72530	76.98
					01-26-024-72530	76.98
					60-00-000-72530	40.42
					63-00-000-72530	13.47
					64-00-000-72530	23.09

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192389	5/28/2021	017779 HUNTER EQUIPMENT SERVICE OF	(Continued)		01-17-205-72530 01-33-000-72530 Total :	115.47 38.49 384.90
192390	5/28/2021	018881 IFSAP MEMBERSHIP	052321		MEMBERSHIP - H.TWOMEY 01-19-020-72720 Total :	55.00 55.00
192391	5/28/2021	004955 ILCMA	2822 2837		JOB POSTING FOR VILLAGE ENGIN 01-26-023-72446 JOB AD POSTING FEE - STAFF ACC 01-15-000-72446 Total:	50.00 50.00 100.00
192392	5/28/2021	005212 JSR ENTERPRISES INC	24962	VTP-018406	PUBLIC WORKS GARAGE BOTTLE 30-00-000-75907 Total :	4,995.00 4,995.00
192393	5/28/2021	007222 J.C.SCHULTZ ENTERPRISES	0000481653		FLAGS 01-26-025-73112 Total :	383.81 383.81
192394	5/28/2021	007233 JOLIET SUSPENSION, INC.	127592	VTP-018438 VTP-018438 VTP-018438 VTP-018438	REBUILD REAR SUSPENSION UNIT 01-26-023-72540 64-00-000-72540 60-00-000-72540 63-00-000-72540 Total:	1,000.00 965.44 1,689.51 563.17 4,218.12
192395	5/28/2021	020107 JOSSART, MARK	Ref001405831		UB Refund Cst #00459784;rfnd dupl լ 60-00-000-20599 Total :	75.03 75.03
192396	5/28/2021	018050 KIRBY BUILT	SOKSA6680		LIFTGATE AND WASTE RECEPTACI 01-26-025-72530 Total :	5,597.65 5,597.65

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192397	5/28/2021	005379 KLEIN, THORPE & JENKINS, LTD	217642		0114-001 GENERAL/ADMIN LEGAL S	
					01-14-000-72850	22.00
					Total :	22.00
192398	5/28/2021	016027 LEXIPOL, LLC	INVLEX2084		ANNUAL LAW ENFORCEMENT POL	
					01-17-205-72720	4,867.00
					Total :	4,867.00
192399	5/28/2021	003440 M. COOPER WINSUPPLY CO.	04304301		TOILET REPAIR POST 10	
					01-26-025-72520	241.50
					Total :	241.50
192400	5/28/2021	011800 MAC TOOLS DISTRIBUTOR	163640		A/C REC MACINE SPIN ON FILTER	
					01-26-023-73410	28.00
					01-26-024-73410	28.00
					60-00-000-73610	17.64
					63-00-000-73410	1.96
					64-00-000-73410	8.40
					01-17-205-73410	41.99
					01-33-000-72540	14.00
					Total :	139.99
192401	5/28/2021	012631 MASTER AUTO SUPPLY, LTD.	15030-103402		2000 VOYAGER PARTS-STRUT ASS	
					01-26-024-72540	403.21
					Total :	403.21
192402	5/28/2021	006074 MENARDS	5087		3 STEP UTILITY , HOOK RAIL, SALT .	
					01-26-023-73410	45.98
					01-26-023-73115	3.55
					01-26-024-73410	22.99
					01-26-024-73115	1.78
					60-00-000-73410	28.97
					63-00-000-73410	3.22
					64-00-000-73410	13.79
					60-00-000-73115	2.49
					64-00-000-73115	1.06
			5088		THREADED CPLR,REDUC BSHNG,L	

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192402	5/28/2021	006074 MENARDS	(Continued)			
			,		01-26-024-73570	37.76
			5166		AIR FILTER	
					01-21-000-72540	13.76
			5167		FENDER WASHER,MAG NUT DRIVE	
					01-26-023-73840	44.29
			5180		HOLE SAW W/ARBOR	
					01-26-025-73410	18.99
			5183		CO/GAS ALARM AND LENOX SCRE'	
					01-26-025-73410	50.95
			5223		COMPOSITE SCOOP	
					60-00-000-73410	1.88
					63-00-000-73410	0.21
					64-00-000-73410	0.89
			5224		BOUNCE SHEETS AND LARGE PLA	
					01-26-025-73680	37.99
					01-26-025-73580	7.90
			5240		GALV PLUG,METAL CUTTING	
					60-00-000-73840	17.66
					63-00-000-73840	5.88
					64-00-000-73840	10.09
			5290		WOOD CLAMP	
					01-26-023-73410	9.99
					Total :	382.07
192403	5/28/2021	012517 MERIDIAN IT INC	492689		CISCO ANYCONNECT OTP TROUBL	
					01-16-000-72650	200.00
			492735		<it> FLEXPOD INFRASTRUCTURE</it>	
				VTP-018248	01-16-000-72650	7,250.00
					Total :	7,450.00
192404	5/28/2021	005856 MONROE TRUCK EQUIPMENT, INC.	333530		M6AC WHELEN LED FLASHER	
		,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,			01-26-023-72530	430.44
					Total:	430.44
192405	5/28/2021	017651 MSC INDUSTRIAL SUPPLY CO.	4641900001		MALE RIGID FITTING,BRAKE WASH	
102-100	0/20/2021	OTTOOL MOO INDOOTTAINE COLLET CO.	10-1000001		01-26-023-72540	164.53
					01-20-020-12040	104.33

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28/2021 01765 28/2021 01300	51 MSC INDUSTRIAL SUPPLY CO. 07 NASRO	(Continued) 4641900002		01-26-024-72540 01-17-205-72540 01-33-000-72540 60-00-000-72540 63-00-000-72540 64-00-000-72540 SANDING DISC 01-26-023-73410 60-00-000-73410 63-00-000-73410 64-00-000-73410 01-26-024-73410	24.42 25.64
28/2021 01300	07 NASRO			01-17-205-72540 01-33-000-72540 60-00-000-72540 63-00-000-72540 64-00-000-72540 SANDING DISC 01-26-023-73410 60-00-000-73410 63-00-000-73410 64-00-000-73410 01-26-024-73410	73.26 24.42 25.64 8.55 14.64 62.93 39.65 4.41 18.87 31.46
28/2021 01300	07 NASRO	4641900002		01-33-000-72540 60-00-000-72540 63-00-000-72540 64-00-000-72540 SANDING DISC 01-26-023-73410 60-00-000-73410 63-00-000-73410 64-00-000-73410 01-26-024-73410	24.42 25.64 8.55 14.64 62.93 39.65 4.41 18.87 31.46
28/2021 01300	07 NASRO	4641900002		60-00-000-72540 63-00-000-72540 64-00-000-72540 SANDING DISC 01-26-023-73410 60-00-000-73410 63-00-000-73410 64-00-000-73410 01-26-024-73410	25.64 8.55 14.64 62.93 39.65 4.41 18.87 31.46
28/2021 01300	07 NASRO	4641900002		63-00-000-72540 64-00-000-72540 SANDING DISC 01-26-023-73410 60-00-000-73410 63-00-000-73410 64-00-000-73410 01-26-024-73410	8.55 14.64 62.93 39.65 4.41 18.87 31.46
28/2021 01300	07 NASRO	4641900002		64-00-000-72540 SANDING DISC 01-26-023-73410 60-00-000-73410 63-00-000-73410 64-00-000-73410 01-26-024-73410	14.64 62.93 39.65 4.41 18.87 31.46
28/2021 01300	07 NASRO	4641900002		SANDING DISC 01-26-023-73410 60-00-000-73410 63-00-000-73410 64-00-000-73410 01-26-024-73410	62.93 39.65 4.41 18.87 31.46
28/2021 01300	07 NASRO	4641900002		01-26-023-73410 60-00-000-73410 63-00-000-73410 64-00-000-73410 01-26-024-73410	39.65 4.41 18.87 31.46
28/2021 01300	07 NASRO			60-00-000-73410 63-00-000-73410 64-00-000-73410 01-26-024-73410	39.65 4.41 18.87 31.46
28/2021 01300	07 NASRO			63-00-000-73410 64-00-000-73410 01-26-024-73410	4.41 18.87 31.46
28/2021 01300	07 NASRO			64-00-000-73410 01-26-024-73410	18.87 31.46
28/2021 01300	07 NASRO			01-26-024-73410	31.46
28/2021 01300	07 NASRO				
28/2021 01300	07 NASRO			Total :	517.20
28/2021 01300	07 NASRO				
		19585		TRAINING AMHT-SRO NOBESVILLE	
				01-17-220-72140	195.00
				Total :	195.00
28/2021 01572	23 NICOR	64423710009		ACCT#64423710009 METER 335839	
				01-26-025-72511	636.32
		81423710003		ACCT#81423710003 METER 283161	
				01-26-025-72511	77.34
		90223493009		ACCT#90223493009 METER 508073	
				01-26-025-72511	219.09
				Total :	932.75
28/2021 0067	14 PAPER DIRECT INC.	1844294		LICENSE CARD STOCK	
				01-14-000-73110	547.35
				Total :	547.35
98/2021 0064 ⁻	75 PARK ACE HARDWARE	065708/1		ACCT#9404 INV 065708/1 FASTENE	
0/2021 000-1	70 TARRAGE THURDWARE	00070071			2.46
		065746/1			2.40
		0001 1 0/1			2.23
					9.56
		65694/1			5.50
		2021 006714 PAPER DIRECT INC. 2021 006475 PARK ACE HARDWARE	90223493009 2021 006714 PAPER DIRECT INC. 1844294	90223493009 2021 006714 PAPER DIRECT INC. 1844294 2021 006475 PARK ACE HARDWARE 065708/1 065746/1	90223493009 90223493009 ACCT#90223493009 METER 508073 01-26-025-72511 Total: 2021 006714 PAPER DIRECT INC. 1844294 LICENSE CARD STOCK 01-14-000-73110 Total: 2021 006475 PARK ACE HARDWARE 065708/1 ACCT#9404 INV 065708/1 FASTENE 01-19-000-72530 065746/1 ACCT#89143 INV 065746/1 HOOK C 01-26-025-73410 01-35-000-73870

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192409	5/28/2021	006475 PARK ACE HARDWARE	(Continued)			
			,		01-19-000-73585	1,021.17
					01-19-000-73580	305.94
					01-19-000-72220	79.80
					01-19-000-73410	85.25
					Total :	1,506.41
192410	5/28/2021	017268 PETERSON JOHNSON & MURRAY	133912		4130.0003 FOIA SVC THRU 3/31/21	
					01-14-000-72850	14,041.50
			133913		4130.0045 LEGAL SVC RELATED TC	
					01-14-000-72850	6,748.50
			133914		4130.0001 VTP GENERAL MATTER	
					01-14-000-72850	312.00
					Total :	21,102.00
192411	5/28/2021	006559 PRAXAIR DISTRIBUTION, INC	63781677		ACETYLENE 4/20-5/20/21	
					01-26-024-73730	46.64
					01-26-023-73730	93.28
					60-00-000-73730	32.65
					63-00-000-73730	32.65
					64-00-000-73730	27.98
					Total :	233.20
192412	5/28/2021	006850 QUILL CORPORATION	16768918		BUSINESS CARD POUCHES	
					01-35-000-73110	18.04
					Total :	18.04
192413	5/28/2021	006870 RELIABLE FIRE EQUIPMENT	43015		SERVICE FOR 80TH AVE TRAIN ST/	
					01-26-025-72535	283.25
					Total :	283.25
192414	5/28/2021	006874 ROBINSON ENGINEERING CO. LTD.	21040373		21-R0341 TP TINLEY CROSSINGS F	
					01-33-310-72840	1,754.00
			21040374		21-R0360 TP ATLAS PUTTY ADDITIO	,
					01-33-310-72840	348.00
					Total :	2,102.00

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Voucher List Village of Tinley Park

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amoun
192415	5/28/2021	019092 RORY GROUP, LLC	3609		BUSINESS CONSULTING FEE MAY".	
					01-11-000-72790	3,000.00
					Total :	3,000.00
192416	5/28/2021	016334 RUSH TRUCK CENTERS	3023290859		ENGINE REPAIR (LONG BLOCK) C.	
				VTP-018374	01-26-023-72530	1,760.00
					01-26-023-72530	5,237.40
			3023303385		ENGINE WORK- TURBO, EGR & CO	
				VTP-018269	01-26-023-72530	26,997.84
			3023467556		SHIELD DUST BRK	
					01-26-023-72540	85.28
			3023471033		AIR HORT KIT, ADAPTER, HOS ASSY	
					01-26-023-72540	217.98
			3023488041		HARNESS CLEARANCE & MARKER	
			0000500404		01-26-023-72540	208.44
			3023569434		SENSOR ASSY CAM/CRANK POSIT	00.00
					01-26-024-72540	98.68
					Total :	34,605.62
192417	5/28/2021	019771 SALINA'S PASTA AND PIZZA	052121		PUBLIC WORKS PICNIC	
					01-26-024-72220	74.51
					01-26-023-72220	149.02
					60-00-000-72220	52.16
					63-00-000-72220	52.16
					64-00-000-72220	44.70
					Total :	372.55
192418	5/28/2021	007629 SAM'S CLUB DIRECT	051921		8' BANQUET TABLES	
					01-26-025-74110	319.92
			051921.		HAMBURGER AND HOTDOG BUNS,	0.0.02
			33.32		01-26-024-72220	26.75
					01-26-023-72220	53.49
					60-00-000-72220	18.72
					63-00-000-72220	18.72
					64-00-000-72220	16.05
			052121		HAMBURGER PATTIES FOR PICNIC	
					01-26-024-72220	22.70

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192418	5/28/2021	007629 SAM'S CLUB DIRECT	(Continued)	_		
			,		01-26-023-72220	45.41
					60-00-000-72220	15.89
					63-00-000-72220	15.89
					64-00-000-72220	13.63
			052121.		BROWNIE BITES, COOKIES, CAKE F	
					01-26-024-72220	20.71
					01-26-023-72220	41.42
					60-00-000-72220	14.50
					63-00-000-72220	14.50
					64-00-000-72220	12.43
			052421		PAPER TOWEL, WATER, SUGAR, CO	
					01-26-025-73580	170.89
					01-26-023-73115	50.69
					01-26-024-73115	25.34
					60-00-000-73115	35.49
					64-00-000-73115	15.14
					Total :	968.28
192419	5/28/2021	018104 SBA STEEL,LLC	IN14058130		TOWER SITE RENT #IL46494-A-03 、	
					60-00-000-72631	191.44
					63-00-000-72631	191.44
					64-00-000-72631	191.44
					01-17-205-72631	382.89
					01-19-000-72631	319.08
					Total :	1,276.29
192420	5/28/2021	020110 SLAGER, JAYNE	Ref001405835		UB Refund Cst #00512400	
		, ,			60-00-000-20599	27.57
					Total :	27.57
192421	5/28/2021	013190 SOLARWINDS	IN522288		SCADA KIWI SYSLOG SERVER	
102121	0/20/2021	OTOTO GGE/WWWDG	114022200	VTP-018423	60-00-000-72655	70.16
				VTP-018423 VTP-018423	63-00-000-72655	70.10
				VTP-018423 VTP-018423	64-00-000-72655	33.40
				VII -010423	704-00-000-72033 Total :	111.36
					iotai.	111.30

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Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192422	5/28/2021	020108 SPILLER, JENNA	Ref001405833		UB Refund Cst #00511538	
					60-00-000-20599	41.29
					Total :	41.29
192423	5/28/2021	012238 STAPLES BUSINESS ADVANTA	GE 3476824234		BIC MARK IT PERM PEN, BINDERS, I	
					01-17-205-73110	68.43
			8062284551		BLACK TONER	
					60-00-000-73110	44.88
					63-00-000-73110	4.99
					64-00-000-73110	21.37
					01-26-023-73110	71.24
					01-26-024-73110	35.61
					Total :	246.52
192424	5/28/2021	015452 STEINER ELECTRIC COMPANY	S006897176.001		CAT 6	
					01-26-025-73840	16.59
			S006901517.001		BALLAST FIRE HOSE - FIRE PREVE	
					01-26-024-73570	10.48
					Total :	27.07
192425	5/28/2021	018900 STUCKART, TYLER	052521		SUPPLIES FOR PHOTO DISPLAY AT	
					01-35-000-72923	350.00
					Total :	350.00
192426	5/28/2021	007297 SUTTON FORD INC./FLEET SAI	LES 528433		TUBE ASY	
.02.20	0/20/2021				60-00-000-72540	51.36
					63-00-000-72540	17.12
					64-00-000-72540	29.34
					Total :	97.82
192427	5/28/2021	000645 TED'S GREENHOUSE INC	522381		SHADE PLANTERS AND SUN PLAN	
					01-26-023-72881	636.00
					Total:	636.00
192428	5/28/2021	017520 THE COP FIRE SHOP	200098		BLACK POLO ACADEMY LOGO	
102 120	0/20/2021	orrozo frie oor fine orior	200000		01-17-215-73600	39.00
					Total :	39.00

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Amoun	Description/Account	PO #	Invoice	'endor	ite Vend	Date	/oucher
	R& R MOD MOD PERMIT INSPECTION		21-1392	07777 THOMPSON ELEVATOR INSPECTION	2021 0077	5/28/2021	192429
75.0	01-33-300-72853						
	13 SEMI-ANNUAL ELEVATOR CODE		21-1411				
494.0	01-33-300-72853						
	1 ELEVATOR PLAN REVIEW		21-1415				
75.0	01-33-300-72853						
644.0	Total :						
	SERVICE CALL FOR SWEEPER ANI		131924	19712 TM TIRE CO INC	2021 0197	5/28/2021	192430
238.5	01-26-023-73560						
238.5	Total :						
	BUILDING AUTOMATION SERVICE /		C010048	12187 TOTAL AUTOMATION CONCEPTS, INC	2021 0121	5/28/2021	192431
9,933.0	01-26-025-72790	VTP-018182	0010040	12107 TOTAL AUTOMATION CONCEPTO, INC	2021 0121	3/20/2021	132431
9,933.0	Total :	V11 -010102					
3,933.0	iotai.						
	LAWN TREATMENT 167TH ST PUMF		138372865	14510 TRUGREEN	2021 0145	5/28/2021	192432
75.0	01-26-023-72881	VTP-018310					
	LAWN TREATMENT VH 5/12/21		138372866				
75.0	01-26-023-72881	VTP-018310					
	LAWN TREATMENT FIRE HOUSE #3		138372868				
75.0	01-26-023-72881	VTP-018310					
	LAWN TREATMENT1 OPA/DOWNNT		138372869				
75.0	01-26-023-72881	VTP-018310					
200.0	LAWN TREATMENT 80TH AV AND 17	\/TD 040040	138372870				
300.0	01-26-023-72881	VTP-018310	100070074				
75.0	LAWN TREATMENT FIRE HOUSE#4	VTD 040040	138372871				
75.0	01-26-023-72881	VTP-018310	420272072				
150.0	LAWN TREATMENT 183RD & PUMP 01-26-023-72881	VTP-018310	138372873				
150.00		V 1P-010310	120272074				
150.0	LAWN TREATMENT 7850 183RD ST 01-26-023-72881	VTP-018310	138372874				
150.00	LAWN TREATMENT 7980 183RD ST	VIF-010310	138372877				
75.0	01-26-023-72881	VTP-018310	130312011				
7 3.00	LAWN TREATMENT FIRE HOUSE#4	VIF-010310	138372878				
75.0	01-26-023-72881	VTP-018310	130372070				
7 3.00	LAWN TREATMENT 76TH AVE MEDI	V 11 -010010	138372882				

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Voucher List Village of Tinley Park

Bank code :	apbank					
Voucher	Date	Vendor	Invoice	PO#	Description/Account	Amount
192432	5/28/2021	014510 TRUGREEN	(Continued)			_
			138402434	VTP-018310	01-26-023-72881 LAWN TREATMENT 5/13/21 PANDUI	300.00
			100402404	VTP-018310	01-26-023-72881	105.00
					Total :	1,530.00
192433	5/28/2021	017446 VETERINARY CLINIC OF TINLEY PK	052521		OPA PLAYBOOK SIGN GRANT VETE	
					27-00-000-79118	4,433.00
					Total :	4,433.00
192434	5/28/2021	020100 VOLANTI, PAMELA	052021		REIMBURSEMENT FOR TABLECLO	
					60-00-000-72220	21.50
					Total :	21.50
192435	5/28/2021	010165 WAREHOUSE DIRECT WORKPL SOLT	NS 4769201-0		ADDRESS LABELS,STENO	
					01-26-024-73110	31.11
					01-26-023-73110	62.22
					60-00-000-73110 63-00-000-73110	39.20 4.36
					64-00-000-73110	18.67
			4957091-0		PAPER	10.07
					01-17-205-73110	410.80
			4957094-0		PAPER	
					01-17-205-73110	410.80
			4962029-0		FILM STRETCH	
					01-26-024-73870	21.64
					01-26-023-73870	43.28
					60-00-000-73870	15.15
					63-00-000-73870 64-00-000-73870	15.15 12.97
					Total :	1,085.35
192436	5/29/2024	011055 WARREN OIL CO.	W1391640		N.L. GAS USED 5/5-5/20/2021	,
192430	3/20/2021	011055 WARREN OIL CO.	W 139 1040		01-19-000-73530	516.25
					01-19-000-73530	101.84
					01-21-000-73530	820.18
					60-00-000-73530	953.57
					00 00-000-10000	333

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Voucher List Village of Tinley Park

Bank code :	apbank					
Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
192436	5/28/2021	011055 WARREN OIL CO.	(Continued)			
					63-00-000-73530	238.39
					64-00-000-73530	510.84
					01-26-023-73530	1,625.62
					01-26-024-73530	603.68
					01-33-300-73530	224.50
					01-12-000-73530	302.96
					01-14-000-73531	1,537.87
					14-00-000-73530	64.05
					01-42-000-73530	631.23
					01-17-205-73530	11,420.71
					01-14-000-73532	27.22
					Total :	19,578.91
192437	5/28/2021	018995 WHITTINGHAM MEATS	440712		BURGERS,HOTDOGS,CHICKEN FO	
					01-26-024-72220	62.38
					01-26-023-72220	124.76
					60-00-000-72220	43.67
					63-00-000-72220	43.67
					64-00-000-72220	37.42
					Total :	311.90
192438	5/28/2021	008226 WYMAN & COMPANY	46057		FRAMING	
					01-98-000-99000	148.75
			46075		FRAMING AND MOUNTING OF RES	
					01-98-000-99000	135.00
					Total :	283.75
192439	5/28/2021	015658 XYLEM DEWATERING SOLUTIONS,INC	401089034		O-RING VOLUTE, FRONT COVER GA	
					60-00-000-72530	52.42
					63-00-000-72530	17.47
					64-00-000-72530	29.96
					Total :	99.85
192440	5/28/2021	020106 ZUNIGA, ELVIA	052621		STICKER SENIOR DISCOUNT REIM	
		- ,	-		06-00-000-79005	23.50

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Voucher List Village of Tinley Park Page:

Bank code: apbank

VoucherDateVendorInvoicePO #Description/AccountAmount

192440 5/28/2021 020106 020106 ZUNIGA, ELVIA (Continued) **Total**: **23.50**

93 Vouchers for bank code: apbank Bank total: 276,385.68

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Voucher List Village of Tinley Park

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Bank code: ipmg

V oucher	Date	Vendor		Invoice	PO #	Description/Account		Amount
3187	5/18/2021	018837	INSURANCE PROGRAM MANAGE	ERS GRI 200505W003		PAYEE-PETERSON JOHNS 01-14-000-72542	ON & ML	370.50
							Total :	370.50
3194	5/25/2021	018837	INSURANCE PROGRAM MANAGE	RS GR 210421W008		PAYEE-ADVANET		
						01-14-000-72542	Tatal .	257.77
							Total :	257.77
3195	5/25/2021	018837	INSURANCE PROGRAM MANAGE	RS GR 210421W008-2		PAYEE-ADVANET		404.4
						01-14-000-72542	Total :	184.17 184.17
3196	E/0E/0004	040027	INSURANCE PROGRAM MANAGE	TDC CD 240424W000 2		PAYEE-ADVANET		
3190	3/23/2021	010037	INSURANCE PROGRAM MANAGE	:R3 GR 210421W000-3		01-14-000-72542		137.85
							Total :	137.85
3197	5/25/2021	018837	INSURANCE PROGRAM MANAGE	ERS GRI 210421W008-4		PAYEE-ADVANET		
						01-14-000-72542		232.50
							Total :	232.50
3198	5/25/2021	018837	INSURANCE PROGRAM MANAGE	RS GR 210421W008-5		PAYEE-ADVANET		
						01-14-000-72542	Total :	232.50 232.50
0.400	E/0E/0004	0.4.0.0.7	NOUR AND PROPERTY.	TD0 0D 000000N4000				202.00
3199	5/25/2021	018837	INSURANCE PROGRAM MANAGE	:RS GR 200803W006		PAYEE-ALIGN NETWORKS 01-14-000-72542	INC	233.30
						01 11 000 120 12	Total :	233.30
3200	5/25/2021	018837	INSURANCE PROGRAM MANAGE	RS GR 210421W008		PAYEE-INGALLS OCCUPAT	IONAL H	
						01-14-000-72542		83.78
							Total :	83.78
3201	5/25/2021	018837	INSURANCE PROGRAM MANAGE	RS GR 210323W028-2		PAYEE-INGALLS OCCUPAT	IONAL H	
						01-14-000-72542	Total :	83.78 83.78
0000	E/0E/000 :	04000=	INOUR ANDERDOOD AND AND AND AND AND AND AND AND AND AN	TD0 OD 04040414000 0		DAVEE INCALLS COCCES		55.76
3202	5/25/2021	U18837	INSURANCE PROGRAM MANAGE	:RS GR 210421W008-6		PAYEE-INGALLS OCCUPAT 01-14-000-72542	IONAL H	83.78
						31 11 000 120 12		55.76

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110 Vouchers in this report

Voucher List Village of Tinley Park

Bank code :	ipmg					
Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
3202	5/25/2021	018837	018837 INSURANCE PROGRAM MANAGERS (Continued)		Total :	83.78
3203	5/25/2021	018837	INSURANCE PROGRAM MANAGERS GR 201019W041		PAYEE-MIDWEST ROI 01-14-000-72542 Total:	30.03 30.03
3204	5/25/2021	018837	INSURANCE PROGRAM MANAGERS GR 201019W041-2		PAYEE-MIDWEST ROI 01-14-000-72542 Total :	31.14 31.14
3205	5/25/2021	018837	INSURANCE PROGRAM MANAGERS GR 201130W025		PAYEE-SCANSTAT TECHNOLOGIES 01-14-000-72542 Total:	99.87 99.87
3206	5/25/2021	018837	INSURANCE PROGRAM MANAGERS GR 201019W041-3		PAYEE-VILLAGE OF TINLEY PARK 01-14-000-72542 Total :	3,006.98 3,006.98
3207	5/25/2021	018837	INSURANCE PROGRAM MANAGERS GR 201130W025		PAYEE-VILLAGE OF TINLEY PARK 01-14-000-72542 Total :	333.90 333.90
3208	5/25/2021	018837	INSURANCE PROGRAM MANAGERS GR 201119W024		PAYEE-VILLAGE OF TINLEY PARK 01-14-000-72542 70-00-000-72542 Total:	1,048.33 1,048.33 2,096.66
3209	5/25/2021	018837	INSURANCE PROGRAM MANAGERS GR 200803W006-2		PAYEE-VILLAGE OF TINLEY PARK 01-14-000-72542 Total :	1,113.02 1,113.02

17 Vouchers for bank code: ipmg

284,997.21

Bank total :

Total vouchers :

8,611.53

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Bank code: ipmg

 Voucher
 Date
 Vendor
 Invoice
 PO #
 Description/Account
 Amount

The Tinley Park Village Board having duly met at Village Hall do hereby certify that the following claims or demands against said village were presented and are approved for payment as presented on the above listing.

In witness thereof, the Village President and Clerk of the Village of Tinley Park, hereunto set their hands.



Date: June 1, 2021

To: Mayor Glotz & Village Trustees

From: Kimberly Clarke, AICP Community Dev. Director

Subject: Ordinance 2021-O-017-6732 173rd Street Variation request

DISCUSSION:

The Plan Commission's recommendation was presented to the Village Board on April 13, 2021 for a first reading. There was discussion between the Village Board and Staff regarding the open items that were brought up by the tenants at the public hearing (door locks, lighting & cameras). Since the item was a first reading, the issues were to be corrected by the next Village Board meeting.

Staff has confirmed the door lock issues were corrected and the wall mounted security lighting is now operational. The Ordinance in front of you today has a condition that the Landlord will install security cameras that will record video on the 2nd floor in the hallway and at the entrance on the first floor prior to the Village issuing an occupancy for the apartment unit. Secondly, the outstanding issues with the fire department will be resolved at the next court date scheduled for June 6, 2021. A condition listed in this ordinance is all outstanding fines and violations are addressed prior to issuance of a building permit for the apartment.

RECOMMENDATION:

Consider adopting the attached ordinance with the conditions mentioned above.



THE VILLAGE OF TINLEY PARK

Cook County, Illinois Will County, Illinois

ORDINANCE NO. 2021-O-017

AN ORDINANCE GRANTING AN APARTMENT SIZE VARIATION AT CERTAIN PROPERTY LOCATED AT 6732 173RD STREET

MICHAEL W. GLOTZ, PRESIDENT KRISTIN A. THIRION, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park

VILLAGE OF TINLEY PARK

Cook County, Illinois Will County, Illinois

ORDINANCE NO. 2021-O-017

AN ORDINANCE GRANTING AN APARTMENT SIZE VARIATION AT CERTAIN PROPERTY LOCATED AT 6732 173RD STREET

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, a petition for granting a variation to the minimum dwelling size ("Variation") at 6732 173rd Street, Tinley Park, Illinois 60477 ("Subject Property") has been filed by George Faycurry, on behalf of GFCTinley LLC ("Petitioner") with the Village Clerk of this Village and has been referred to the Plan Commission of the Village and has been processed in accordance with the Tinley Park Zoning Ordinance; and

WHEREAS, said Plan Commission held a public hearing on the question of whether the Variations should be granted on April 1, 2021 at the Village Hall and by teleconference per Gubernatorial Executive Order 2020-18 and the "Village of Tinley Park Temporary Public Participation Rules & Procedures", at which time all persons were afforded an opportunity to be heard; and

WHEREAS, public notice in the form required by law was given of said public hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said public hearing in the Daily Southtown, a newspaper of general circulation within the Village of Tinley Park; and

WHEREAS, the Plan Commission voted 5-1 and has filed its report and findings and recommendations that the proposed Variations be approved with this President and Board of Trustees, and this Board of Trustees has duly considered said report of findings and recommendations; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Variations; and

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

SECTION 2: That the report of findings and recommendations of the Plan Commission are herein incorporated by reference as the findings of this President and the Board of Trustees, as complete as if fully set forth herein at length. This Board finds that the Petitioner has provided evidence establishing that they have met the standards for granting the Variations as set forth in Section X.G.4 of the Zoning Ordinance, and the proposed granting of the Variations as set forth herein is in the public good and in the best interest of the Village and its residents and is consistent with and fosters the purpose and spirit of the Tinley Park Zoning Ordinance.

Section X.G.4. of the Zoning Ordinance states the Plan Commission shall not recommend a Variation of the regulations of the Zoning Ordinance unless it shall have made Findings of Fact, based upon the evidence presented for each of the Standards for Variations listed below. The Plan Commission must provide findings for the first three standards.

- 1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.
 - The Variation is requested to allow the reuse of an existing commercial office space with a fixed footprint smaller in size than what is allowed for residential use. If the variation is not granted the use will remain as commercial. If approved the use will become a mixed-use structure which is in closer compliance with the Legacy Plan requirements by creating a mixed-use building. The proposal will maintain the existing building footprint which is not feasible to expand.
- 2. The plight of the owner is due to unique circumstances.
 - The location in the Legacy District and urbanized core allows residents more convenient access to amenities and public open space not as easily available elsewhere in the Village. This kind of access allows for a residential unit to meet the typical needs of a resident in a smaller space. The proposal to add an apartment brings the site into closer compliance with the Legacy Code requirements and helps fill a building that has struggled with high vacancy.
- 3. The Variation, if granted, will not alter the essential character of the locality.
 - No exterior changes are proposed, the request is limited to only one unit in the building.

Additionally, the following Legacy Code Approval Standards as outlined in Section XII.5.D. of the Zoning Ordinance have been found to have been met as related to a Variation request from the Legacy Code.

- 1. The proposed improvement meets the Legacy Plan and its Principles, as presented in Section 1.A-B: Purpose and Intent, of this ordinance;
 - The proposal aligns with the Legacy Plan principles of retaining and expanding residential uses to support the Downtown Core commercial. The size of a single multi-family unit does not directly affect the legacy district or its goals. The Variation allows a property to be repurposed after years of higher vacancy.

- 2. The new improvement is compatible with uses already developed or planned in this district and will not exercise undue detrimental influences upon surrounding properties;
 - A mixed-use building with low-intensity commercial uses fits in well with the existing and planned uses in the area. A single smaller residential unit would not affect surrounding properties.
- 3. Any improvement meets the architectural standards set forth in the Legacy Code.
 - No exterior improvements to the building are proposed with the Variation.
- 4. The improvement will have the effect of protecting and enhancing the economic development of the Legacy Plan area.
 - The reuse of a property that has had a high vacancy rate for several years with an apartment provides economic benefits compared to a vacant structure. The proposed residential apartment will help bring additional revenue to the property and help support the property and business owners' success in occupying a well-maintained property. The addition of a dwelling is consistent with the Legacy Plan's goal of increasing population density around the Downtown Core to support a strong economic center and allowing for flexibility in uses on Downtown Flex zoned properties.

SECTION 3: That the Variations as set forth herein below shall be applicable to the following described property

LEGAL DESCRIPTION: LOTS 1, 2 AND 3 (EXCEPT THE WEST 78 FEET OF SAID LOT 3) IN BLOCK 3 IN THE VILLAGE OF BREMEN IN SECTIONS 30 AND 31, TONWSHIP36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPLE MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL IDENTIFICATION NUMBER: 28-30-403-029-0000

COMMONLY KNOWN AS: 6732 173rd Street, Tinley Park, Illinois

SECTION 4: That a Variation is hereby granted from Section V.C.2. (Usable Floor Area Per Dwelling) from Zoning Ordinance to allow for a 557 sq. ft. one-bedroom dwelling instead of the minimum of 800 sq. ft. to the Petitioner at the above-mentioned property located in the DF (Downtown Flex) zoning district of the Legacy Code, subject to the following conditions:

- 1. A parking stall shall be dedicated to the apartment tenant with appropriate signage.
- 2. A bike rack with at least one bike parking space for the apartment tenant be installed.
- 3. The Variation is limited to one unit within the building and no other Variations for unit sizes shall be sought as they should first be combined to create
- 4. A building permit is required to be submitted and approved by the Building Department before proceeding with any work.
- 5. All fire code and egress violations be corrected on the site prior to occupancy.

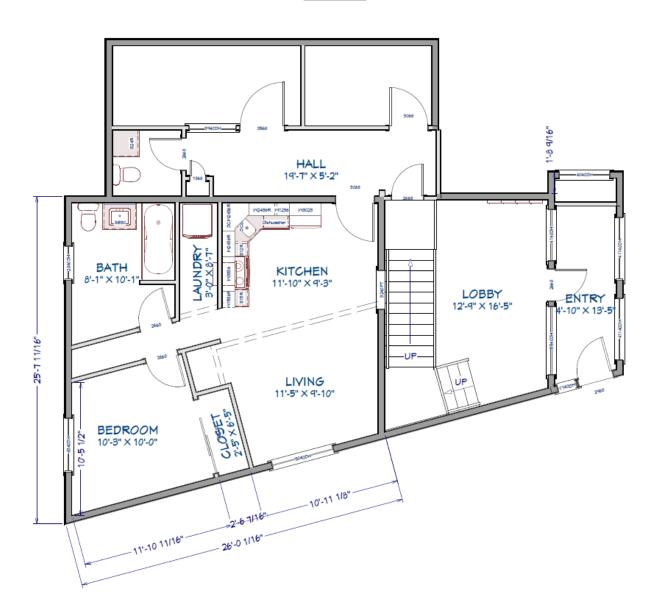
SECTION 5: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

SECTION 6: That this Ordinance shall be in full force and effect from and after its adoption and approval.

SECTION 7: That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 18th day of May, 2021.	
AYES:	
NAYS:	
ABSENT:	
APPROVED THIS 18th day of May, 2021.	
	VILLAGE PRESIDENT
ATTEST:	
VII I AGE CI ERK	

Exhibit 1



	STATE OF ILLINOIS)
COUNTY OF COOK) SS	
COUNTY OF WILL)	

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2021-O-017, "AN ORDINANCE GRANTING AN APARTMENT SIZE VARIATION AT CERTAIN PROPERTY LOCATED AT 6732 173RD STREET," which was adopted by the President and Board of Trustees of the Village of Tinley Park on May 18, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 18th day of May, 2021.

KRISTIN A. THIRION, VILLAGE CLERK



Date: June 01, 2021

To: Mayor & Trustees

CC: David Niemeyer, Village Manager

From: Kimberly Clark, AICP, Community Development Director

Subject: JMW Properties, LLC TIF Redevelopment Agreement Request

BACKGROUND

JMW Properties, LLC, represented by Mr. Alan Silverman, owns an 11-acre developed shopping center on the south side of 159th Street just east of Harlem Avenue. The shopping center consists of two outlots along 159th Street and one large multi-tenant building to the rear of the property. The first outlot is occupied by a Burger King and the second outlot is currently a vacant parking lot with potential for development. The rear multi-tenant building is approximately 124,000sf and is occupied by Hobby Lobby and Burlington. JMW developed the site in 1971 for Kmart (Kmart relocated to 16300 Harlem about 1995 and closed in 2005), and has remained the owner of the property. Mr. Silverman had projected losing both tenants of the main building by October 31, 2021 when both leases were scheduled to expire and reached out to the Village for assistance in November 2020. At the time, Hobby Lobby indicated they did not have a desire to renew their lease, and Burlington intended to downsize and relocate to the Tinley Park Plaza (Brixmor) development nearby.

Mr. Silverman has obtained initial commitment from Hobby Lobby to renew its lease, and has signed a 10-year lease with Floor & Décor to occupy the approximately 70,000sf of space currently occupied by Burlington. Retaining Hobby Lobby at this location will keep 65 full-time jobs in the community, as well as the local sales tax revenue the store produces. Floor & Décor is estimated to create 115 full-time jobs and is expected to generate between \$10.8-13.5 million in sales in its first year according to the Securities and Exchange Commission's most recent 10-K annual form, resulting in \$189,000-236,250 in annual sales tax revenue.

THE PROJECT

Mr. Silverman expects to incur approximately \$2.3 million in total project costs which includes \$1.2 million in physical improvements on site. The main shopping center building will be re-roofed; exterior repainted; and sidewalks modified for ADA (Americans with Disabilities Act) compliance. Parking lot and site improvements will include initial asphalt repairs; installation of nine (9) new



curbed landscape islands; enhanced landscaping throughout the parking lot; and improved traffic control signage and pavement markings (Phase 1), followed by a complete resurfacing (Phase 2);

REQUESTED INCENTIVE AND CONDITIONS

This incentive request has been reviewed and unanimously recommended for approval by the Economic and Commercial Commission at their regularly scheduled meeting on May 10, 2021. This agreement was discussed at the Committee of the Whole and Village Board meetings on May 18, 2021. Village Board directed staff to include clawback language in the event any one of the spaces becomes vacant and to incorporate language that would reduce the incentive amount paid if the total project cost were to go below \$2.3 million.

The proposed incentive to JMW Properties, LLC consists of sharing up to \$960,000 of TIF increment revenue produced by this site alone. The Village proposes to share 75% of the TIF increment produced for a maximum of 10 years to reimburse the eligible costs with the conditions:

- 1. Phase 2 parking lot improvements (resurfacing and restriping/marking entire lot) is to be completed no later than December 31, 2024.
- 2. The vacant outlot (SE corner of 159th Street and 71st Court entrance) Phase 1 asphalt repairs may be initially deferred as the owners are working towards a new development proposal for the site. If the redevelopment plan is not presented to staff by the end of 2021, then the owner agrees to repair the parking lot the following Spring.

Additional Language Added:

- 1. If Project Cost goes below 43% or Redevelopment Costs go below 80%, Village's portion of reimbursement will also go down accordingly. The maximum reimbursement is still \$960,000 regardless if Project or Redevelopment Costs go up.
- 2. **Roof Replacement Reimbursement**. In the event that Hobby Lobby does not execute a lease by August 30, 2021, the Village's portion towards the roof reimbursement will reduce from 80% or \$388,000 to 50% or \$194,000 or whichever is less based on the final cost of the roof as described in **Exhibit D**. Developer shall consent to the recording of a lien upon the Property in an amount equal to the Village's reimbursement costs of the roof as follows: If either spaces are vacant for 18 consecutive months, the Village will lien the property for 50% of the total roof reimbursement. If both spaces are vacant for 18 consecutive months, 100% of the roof reimbursement will be liened. Developer agrees that in the event of a vacancy in the Shopping Center exceeding eighteen (18) months, it shall reimburse the Village one percent (1%) of the lien amount for every month of vacancy.

RECOMMENDATION

CONSIDER RESOLUTION 2021-R-034 AUTHORIZING THE EXECUTION OF A TAX INCREMENT FINANCING (TIF) REDEVELOPMENT AGREEMENT WITHIN THE 159TH AND HARLEM TIF DISTRICT BETWEEN THE VILLAGE OF TINLEY PARK AND JMW PROPERTIES, LLC FOR PROPERTY AT 7061-7063 159th STREET.



THE VILLAGE OF TINLEY PARK

Cook County, Illinois Will County, Illinois

RESOLUTION NO. 2021-R-034

A RESOLUTION APPROVING A TIF REDEVELOPMENT AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND JMW PROPERTIES, LLC

MICHAEL W. GLOTZ, PRESIDENT KRISTIN A. THIRION, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois Will County, Illinois

RESOLUTION NO. 2021-R-034

A RESOLUTION APPROVING A TIF REDEVELOPMENT AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND JMW PROPERTIES, LLC

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the Village of Tinley Park ("Village") and JMW Properties, LLC ("JMW") have negotiated and now desire to enter into a Tax Increment Financing Redevelopment Agreement ("Agreement") pertaining to the economic development and revitalization of certain areas of the Village located within the 159th and Harlem TIF District ("TIF District"), attached hereto as Exhibit 1; and

WHEREAS, pursuant to 65 ILCS 5/8-1-2.5 of the Illinois Municipal Code in conjunction with 65 ILCS 5/11-74.4-1 *et seq*. ("TIF Act") the Village is authorized to appropriate and expend funds necessary for economic development and revitalization of real property within said TIF District; and

WHEREAS, it is the intent of the Village and JMW, pursuant to said Agreement, to promote the economic development and revitalization of certain real property located at 7061-7063 159th Street, Tinley Park, Illinois, PIN: 28-19-100-057-0000 and 28-19-100-058-0000; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of said Village of Tinley Park and its residents to enter into this Agreement with JMW; and

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of fact as if said recitals were fully set forth herein.

SECTION 2: That this President and Board of Trustees of the Village of Tinley Park hereby find that it is in the best interest of the Village and its residents that the aforesaid Agreement between the Village and JMW, as set forth in Exhibit 1, be entered into and the Village President is hereby

authorized to execute and memorialize said Agreement, subject to review and revision as to form by the Village Attorney.

SECTION 3: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Resolution shall be and is hereby repealed to the extent of such conflict.

SECTION 4: That the Village Clerk is hereby ordered and directed to publish this Resolution in pamphlet form, and this Resolution shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 1st day of June, 2021.	
AYES:	
NAYS:	
ABSENT:	
APPROVED THIS 1st day of June, 2021.	
ATTEST:	VILLAGE PRESIDENT
VILLAGE CLERK	

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2021-R-034, "A RESOLUTION APPROVING A TIF REDEVELOPMENT AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND JMW PROPERTIES, LLC" which was adopted by the President and Board of Trustees of the Village of Tinley Park on the 1st day of June, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of June, 2021.

KRISTIN A. THIRION, VILLAGE CLERK

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2 3 4 5	VILLAGE OF TINLEY PARK TAX INCREMENT FINANCING REDEVELOPMENT AGREEMENT (7061-7063 159th STREET)
6	THIS REDEVELOPMENT AGREEMENT (the "Agreement") is made and entered into
7	this 1st day of June, 2021 (the "Effective Date"), by and between the VILLAGE OF TINLEY
8	PARK, an Illinois municipal corporation (the "Village") and JMW PROPERTIES LLC, a
9	Delaware limited liability company (the "Developer"), (the Village and Developer are hereinafter
10	sometimes collectively referred to as the "Parties," and individually as a "Party", as the context
11	may require).
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13	WITNESETH:
14	WHEREAS, pursuant to the Tax Increment Allocation Redevelopment Act, as amended
15	from time to time (65 ILCS 5/11-74.4-1 et seq.) (the "Act"), the Village has undertaken a program
16	to redevelop certain property within the Village which is generally bounded as follows: 159th
17	Street on the north (except for certain parcels west of Oak Park Avenue and north of 159th Street),
18	the northern boundary of Siemsen Meadows (165th Street, extended) on the south, Oak Park
19	Avenue on the east, and Olcott Avenue on the west (the "Redevelopment Project Area"). The
20	Redevelopment Project Area is legally described and depicted in Exhibit A attached hereto and
21	made apart hereof; and
22	WHEREAS, on August 18, 2020, the President and Board of Trustees (the "Corporate
23	Authorities") of the Village, after giving all necessary notices and conducting all necessary
24	meetings and public hearings required by the Act, adopted the following ordinances (collectively
25	the "TIF Ordinances"): (A) Ordinance No. 2020-O-44: An Ordinance Designating the Tax

26 Increment Redevelopment Project Area; (B) Ordinance No. 2020-O-45: An Ordinance Approving 27 the 159th and Harlem Redevelopment Plan and Redevelopment Project; and (C) Ordinance No. 28 2020-O-46: An Ordinance Adopting Tax Increment Financing; and 29 WHEREAS, the Developer is the fee title holder of the property legally described and 30 depicted in **Exhibit B** attached hereto and made apart hereof ("Property"); and 31 WHEREAS, the Property is located within the boundaries of the Redevelopment Project 32 Area; and 33 WHEREAS, the Property is currently improved with an out of date, underperforming 34 shopping center which was originally built in approximately 1971 and which currently consists of 35 124,213 square feet of retail space and outparcels (the "Shopping Center"); and 36 WHEREAS, the inline Shopping Center building will become vacant as of October 2021 37 when the leases for Hobby Lobby and Burlington Coat Factory (the "Current Tenants") expire. 38 Burlington Coat Factory is downsizing and relocating their store to the adjacent shopping center 39 directly south of their current location. But for the Developer making certain improvements 40 (replacement of roof, parking lot and landscape enhancements), Hobby Lobby and the new tenant, 41 Floor & Décor, would not commit to signing a new lease. 42 WHEREAS, faced with significant existing and prospective vacancies, the Developer 43 proposes to undertake a major capital investment in the Property and the Shopping Center, 44 including the tear off and reconstruction of the entire roof system, parking lot upgrades that include 45 landscaping, and sidewalk replacement in front of shopping center to comply with ADA 46 requirements (the "Project"). These improvements were necessary to accommodate Floor & Décor 47

who will occupy 70,323 square foot (the "Retail Tenant") and

48	WHEREAS, the Village has approved the site plans, and landscape plans as for the Project,
49	attached hereto as Exhibit C , as may be amended from time to time, are referred to herein as the
50	"Project Plans"; and
51	WHEREAS, the Developer has estimated that the hard and soft costs for the Project are
52	approximately \$2.27 million (the "Project Budget") as set forth on Exhibit D attached hereto; and
53	WHEREAS, to facilitate the development and construction of the Project and subject to
54	and in accordance with the terms of this Agreement, the Village has agreed to reimburse the
55	Developer for certain Project costs solely from Available Incremental Taxes, as those terms are
56	defined below; and
57	WHEREAS, the Developer has agreed to develop and construct the Project in accordance
58	with this Agreement, all Village codes, ordinances and regulations (except to the extent the Village
59	has granted relief therefrom), as applicable to the Project Plans, and all other governmental
60	authorities having jurisdiction over the Property and the Project; and
61	WHEREAS, the Developer represents and warrants to the Village, and the Village finds
62	that, but for the financial assistance to be provided by the Village to the Developer pursuant to this
63	Agreement, the Project, would not be economically viable and, concomitantly, it is not reasonably
64	anticipated that the Developer would develop and construct the Project as contemplated; and
65	WHEREAS, this Agreement has been submitted to the Corporate Authorities of the
66	Village for consideration and review, and the Corporate Authorities and the Developer have taken
67	all actions required to be taken prior to approval and execution of this Agreement in order to make
68	the same binding upon the Village and the Developer according to the terms hereof; and
69	WHEREAS, the Corporate Authorities of the Village, after due and careful consideration,
70	have concluded that (A) the Developer meets high standards of creditworthiness on the basis it

will deploy its own capital to finance the Project (B) the development and construction of the Project as provided herein will avoid significant vacancies at the Shopping Center, further the growth of the Village, facilitate the redevelopment of a portion of the Redevelopment Project Area, improve the environment of the Village, increase the assessed valuation of the real estate situated within the Village, increase sales tax revenue, foster increased economic activity within the Village's commercial sectors, increase employment opportunities within the Village by creating and retaining jobs, improve the retail base of the Village and attract new tenants to the Shopping Center and other retail properties in the Village, is in the best interest of the Village, and is otherwise in the best interests of the Village by furthering the health, safety, morals and welfare of its residents and taxpayers; and (C) without the financial assistance contemplated by this Agreement, the Project would not be feasible; and

WHEREAS, pursuant to its Authority under (A) the Act; (B) its home rule powers under the Article VII, Section 6 of the Illinois Constitution; and (C) Economic Development Act of the Illinois Municipal Code, 65 ILCS 5/8-1-2.5 pertaining to economic incentive agreements, the Village wishes to enter into this Agreement with the Developer.

NOW THEREFORE, in consideration of the foregoing and of the mutual covenants and agreements contained herein, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Village and the Developer do hereby agree as follows:

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ARTICLE I
RECITALS PART OF THE AGREEMENT

The representations, covenants and recitations set forth in the foregoing recitals are material to this Agreement and are hereby incorporated into and made a part of this Agreement as though they were fully set forth in this Article I.

ARTICLE II DEVELOPER OBLIGATIONS

- 2.1 **Developer Obligations and Agreements**. In consideration of the substantial commitment of the Village to the redevelopment of the Redevelopment Project Area pursuant to the TIF Ordinances and its commitments contained in this Agreement, the Developer shall fulfill, or has fulfilled, the following obligations:
- 105 A. The Developer shall construct the Project substantially in accordance with 106 the Project Plans, and the Developer shall use commercially reasonable 107 efforts to complete the Project on or before December 31, 2021, subject to 108 any Force Majeure Delays (as defined below) and extraordinary 109 construction delays; provided, however, that if Developer has not 110 commenced construction of the Project on or before August 31, 2021, either 111 Party shall have the right to terminate this Agreement. The Developer shall 112 use commercially reasonable efforts to resurface the entire parking lot 113 generally described on Exhibit G hereto ("Phase II Work") on or before 114 December 31, 2024, subject to any Force Majeure Delays (the "Phase II 115 Work Date").
 - B. The Developer will exercise reasonable efforts to advance, or cause other parties to advance the funds necessary to construct and complete the Project and the Phase II Work.

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- C. The Developer will exercise reasonable efforts to secure or cause to be secured, all required permits, entitlements, authorizations and approvals necessary or required to construct and complete the Project and the Phase II Work.
 - In the event a claim is made against the Village, its officers, officials, agents and employees or any of them, or if the Village, its officers, officials, agents and employees or any of them (the "Indemnified Party" or "Indemnified Parties"), is made a party-defendant in any proceeding arising out of or in connection with the Developer's construction, operation, duties, obligations and responsibilities under the terms of this Agreement, the Project or the Phase II Work including, but not limited to, any claim or cause of action concerning construction of the Project or Phase II Work and, matters pertaining to hazardous materials and other environmental matters in existence as of the date of this Agreement, to the extent permitted by law, the Developer shall indemnify, defend and hold harmless the Indemnified Parties, or any Indemnified Party, from all claims, liabilities, losses, taxes, judgments, costs, fines, fees, including expenses and reasonable attorney's fees, in connection therewith (collectively, "Losses"); provided, however, that to the extent that any Losses are caused by the negligence, fraud or willful misconduct of one or more Indemnified Parties, the Developer shall have no obligation to indemnify such Indemnified Parties for any such Losses. Any such Indemnified Party may obtain separate counsel to participate in the defense thereof at his or her own expense.

E.

Indemnified Parties shall cooperate in the defense of such proceedings and be available for any litigation related appearances which may be required. Further, the Developer shall be entitled to settle any and all claims for money, in such amounts and upon such terms as to payment as it may deem appropriate, without the prior approval or consent of the Indemnified Parties, or any of them, as the case may be, provided that neither the Village nor any of the other Indemnified Parties shall be required to contribute to such settlement except to the extent that Losses that are the subject of the settlement are caused by the negligence, fraud or willful misconduct of an Indemnified Party.

Notwithstanding anything herein to the contrary, none of the Indemnified Parties shall be liable to the Developer for damages of any kind or nature whatsoever or otherwise in the event that, except where due to the negligence, fraud or willful misconduct of one or more of the Indemnified Parties, all or any part of the Act, or any of the TIF Ordinances or other ordinances of the Village adopted in connection with either the Act or this Agreement, shall be declared invalid or unconstitutional in whole or in part by the final (as to which all rights of appeal have expired or have been exhausted) judgment of any court of competent jurisdiction, and by reason thereof either the Village is prevented from performing any of the covenants and agreements herein or the Developer is prevented from enjoying the rights and privileges hereof; provided that nothing in this Section 2.1.E shall limit otherwise permissible claims by the Developer

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against the Village or actions by the Developer seeking specific performance of this Agreement or payment of amounts due in the event of a breach of this Agreement by the Village.

Upon reasonable notice, the Village Manager, or his designee, shall have access to all portions of the Project while it is under construction during normal business hours for the purpose of determining compliance with this Agreement, applicable laws and applicable regulations; provided, however, that any such person(s) shall comply with all construction site rules and regulations while such person(s) is on or near the Property. Additionally, the Developer shall keep and maintain detailed accountings of expenditures demonstrating the total actual costs of the Developer's Project and Phase II Work costs. All such books, records and other documents, including but not limited to the general contractor's and subcontractors' sworn statements, general contracts, subcontracts, purchase orders, waivers of lien, paid receipts and invoices, and documentation evidencing that the Developer has incurred and paid any expense for which reimbursement as the Developer's Project and Phase II Work costs, including Redevelopment Project Costs, is sought by Developer hereunder shall be made available in electronic format for inspection, copying, audit and examination by an authorized representative of the Village for a period of one (1) year after issuance of the Certificate of Completion (as defined below). The Village shall treat all such information as confidential business materials, the disclosure of which would cause the Developer competitive harm. As such,

188			the Village shall not disclose any such information pursuant to a Freedom
189			of Information Act request unless compelled to by the Attorney General or
190			a court of competent jurisdiction.
191		G.	The Developer shall cooperate with the Village and provide the Village with
192			the information in Developer's possession or control required and necessary
193			under the Act to enable the Village to comply with the Act and its
194			obligations under this Agreement.
195		Н.	The Developer shall comply with the fair employment/affirmative action
196			principles contemplated by the Act and the TIF Ordinances, and with all
197			applicable federal, state and municipal regulations in connection with the
198			construction of the Project.
199		I.	The Developer has furnished to the Village a Project Budget showing total
200			costs for the Project and the Phase II Work in the amount of \$2.27 million
201			as set forth in Exhibit D . The Developer hereby certifies to the Village that
202			to the best of the Developer's knowledge as of the date of this Agreement
203			the Project Budget is true, correct and complete, good faith estimates in al
204			material respects.
205	2.2	Repr	esentations and Warranties About Ownership. The Developer represents
206	warrants and	covena	ants that, to its knowledge, no member, official, officer, employee of the
207	Village, or an	ny comr	nission or committee exercising authority over the Project or the Property, or
208	any consultar	nt hired	by the Village or the Developer with respect thereto, owns or controls or has
209	owned or cor	ntrolled	any interest, direct or indirect, in the Project or any portion of the Property
210	or will own o	or contro	ol any interest in the Project, and that this Agreement will not violate Section

5/11-74.4-4(n) of the Act. Any representation or warranty made "to Seller's actual knowledge" or similar terms shall not be deemed to imply any duty of inquiry. For purposes of this Section 2.2, "knowledge" shall mean and refer only to the actual knowledge of the Developer's general counsel and shall not be construed to refer to the knowledge of any other member, partner, officer, director, agent, employee or representative of the Developer or any affiliate of the Developer.

2.3 **Disclosure**. In accordance with Illinois law, 50 ILCS 105/3.1, simultaneously with the execution of this Agreement by the Parties, the Developer shall submit a sworn affidavit to the Village disclosing the identity of every owner and beneficiary having any interest, real or personal, in the Property, and every member, shareholder, limited partner, or general partner entitled to receive more than 7 1/2% of the total distributable income of the Developer. The sworn affidavit shall be substantially similar to the one attached as **Exhibit E**, attached hereto and made a part of this Agreement.

ARTICLE III VILLAGE OBLIGATIONS

3.1 Village Economic Assistance. In consideration of the substantial commitment of the Developer to the development and construction of the Project and the undertaking of the Phase II Work and in order to induce the Developer to undertake the Project and the Phase II Work, the Village shall provide economic assistance to the Developer by reimbursing it for up to Nine Hundred and Sixty Thousand Dollars and No Cents (\$960,000) in Project and Phase II Work costs, or forty three percent (43%) of the Actual Project Costs, as defined in Section 3.6(A) below, whichever is lesser (the "Maximum Reimbursement Amount") by annual installment payments (the "Economic Assistance"). The Economic Assistance shall be comprised of Available Incremental Taxes, as defined in Section 3.2 below. The Maximum Reimbursement Amount shall

be reimbursed, to the extent the Developer has incurred Redevelopment Project Costs, by

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Available Incremental Taxes. By way of example: Estimated Redevelopment Project Costs are \$1.2 million or eighty percent of the Actual Redevelopment Costs, which will be paid from Available Incremental Taxes. The Maximum Reimbursement Amount shall always be \$960,000 **Available Incremental Taxes.** Following issuance of the Certificate of Expenditure, as defined below, the Village shall pay the Developer from Available Incremental Taxes generated during the Available Incremental Tax Term for Redevelopment Project Costs incurred by the Developer. The term "Available Incremental Taxes" shall mean seventy five percent (75%) of all net incremental ad valorem real property taxes received by the Village, if any, arising from the levies upon the Property attributable to the then current equalized assessed valuation of the Property over and above the initial equalized assessed value of the Property, all as determined pursuant to Section 5/11-74.4-8 of the Act and the TIF Ordinances. The Parties acknowledge that the initial equalized assessed value of the Property, as set forth in the TIF Ordinances, the term "Redevelopment Project Costs" shall mean and include all costs defined as "redevelopment project costs" in Section 5/11-74.4-3(q) of the Act which are eligible for reimbursement under the Act and which have been approved in the TIF Ordinances. The term "Available Incremental Tax Term" shall mean that 10-year period, commencing December 1 of the first calendar year for which property taxes are payable based on an assessed value of the Property that takes into account the Project improvements, and ending 10 years thereafter; provided, however, that Developer will be entitled to Available Incremental Taxes for each of the ten years during the Available Incremental Tax Term even if such Available Incremental Taxes in the last year

have not yet been paid to Developer before the end of the Available Incremental Tax Term. [For example, if the Project is completed in calendar year 2021 and real estate taxes for calendar year 2021 payable in calendar year 2022 are based on an assessed value of the Property that takes into account the Project improvements, then the Available Incremental Tax Term will begin on December 1, 2022 and end on December 1, 2032.] The Parties anticipate that the Developer will incur approximately One Million Two Hundred Thirty-Five Thousand Dollars and No Cents (\$1,235,000) in Redevelopment Project Costs, as set forth in **Exhibit D** attached hereto and made a part hereof.

3.2 The Developer agrees and understands that: (1) the sole source of funds for payment of the Economic Assistance is expressly limited to Available Incremental Taxes; (2) the Developer is assuming the risk that Available Incremental Taxes generated during the term of this Agreement may be less than the Maximum Reimbursement Amount; (3) the Developer will have no right to compel the exercise of any taxing power of the Village for payment of any of the reimbursement amounts; (4) the Village's reimbursement obligations pursuant to this Agreement do not and will not represent or constitute a general obligation or a pledge of the faith and credit of the Village, the State of Illinois or any political subdivision thereof;

3.3 Timing of Reimbursement Payments.

A. Upon completion of the Project, the Developer shall submit a Certificate of Expenditure, substantially in the form set forth on **Exhibit F** (the "Certificate of Expenditure") to document and substantiate the amount of Project costs incurred by the Developer (the "Actual Project Costs"), including Redevelopment Project Costs. In addition to the Certificate of Expenditure, the Developer's submission shall include such evidence

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reasonably acceptable to the Village that validates the Developer has incurred such Redevelopment Project Costs. Such evidence shall include, but is not limited to, owner's sworn statements, contractor and subcontractor lien waivers, invoices and cancelled checks related thereto, or such other documents as may be appropriate or required. The Village shall approve the Certificate of Expenditure within thirty (30) days of receipt, provided that all necessary and sufficient supporting documentation has been supplied by the Developer. All costs approved pursuant to a Certificate of Expenditure shall be included in the calculation of Actual Project Costs.

Upon completion of the Phase II Work, the Developer shall submit a Certificate of Expenditure to document and substantiate the amount of Phase II Work costs incurred by the Developer (the "Actual Phase II Work Costs"), including Redevelopment Project Costs. In addition to the Certificate of Expenditure, the Developer's submission shall include such evidence reasonably acceptable to the Village that validates the Developer has incurred such Redevelopment Project Costs. Such evidence shall include, but is not limited to, owner's sworn statements, contractor and subcontractor lien waivers, invoices and cancelled checks related thereto, or such other documents as may be appropriate or required. The Village shall approve the Certificate of Expenditure within thirty (30) days of receipt, provided that all necessary and sufficient supporting documentation has been supplied by the Developer. All costs approved pursuant to a

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Certificate of Expenditure shall be included in the calculation of Actual Phase II Work Costs.

- Roof Replacement Reimbursement. In the event that Hobby Lobby does not execute a lease by August 30, 2021, the Village's portion towards the roof reimbursement will reduce from 80% or \$388,000 to 50% or \$194,000 or whichever is less based on the final cost of the roof as described in Exhibit D. Developer shall consent to the recording of a lien upon the Property in an amount equal to the Village's reimbursement costs of the roof as follows: If either spaces are vacant for 18 consecutive months, the Village will lien the property for 50% of the total roof reimbursement. If both spaces are vacant for 18 consecutive months, 100% of the roof reimbursement will be liened. Developer agrees that in the event of a vacancy in the Shopping Center exceeding eighteen (18) months, it shall reimburse the Village one percent (1%) of the lien amount for every month of vacancy.
- 3.4 **Certificate of Completion**. Upon the Developer's written request, the Village shall issue to the Developer a Certificate of Completion in recordable form confirming that the Developer has fulfilled its obligation to complete the Project or the Phase II Work, as applicable, in accordance with the terms of this Agreement. The Village shall issue the Certificate of Completion only upon (i) the Village's determination of Developer's satisfactory completion of the Project or the Phase II Work, as applicable, and (ii) the Village's approval of a Certificate of Expenditure, as applicable for the Project. The Village shall respond to the Developer's written request for a Certificate of Completion within thirty (30) days by issuing said Certificate or a

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written statement detailing the ways in which the Project or the Phase II Work, as applicable does not conform to this Agreement or has not been satisfactorily completed, and the measures which must be taken by the Developer in order to obtain the applicable Certificate of Completion. The Developer may resubmit a written request for a Certificate of Completion upon accomplishment of such measures.

3.5 **Developer Indemnification.** In the event a claim is made against the Developer, its directors, partners, affiliates, shareholders, officers, officials, agents and employees or any of them, or if the Developer, its directors, partners, affiliates, shareholders, officers, officials, agents and employees or any of them (the "Developer Indemnified Party" or "Developer Indemnified Parties"), is made a party-defendant in any proceeding arising out of or in connection with the Village's duties, obligations and responsibilities under the terms of this Agreement to the extent permitted by law, the Village shall indemnify, defend and hold harmless the Developer Indemnified Parties, or any Developer Indemnified Party, from all claims, liabilities, losses, taxes, judgments, costs, fines, fees, including expenses and reasonable attorney's fees, in connection therewith. Any such Developer Indemnified Party may obtain separate counsel to participate in the defense thereof at his or her own expense. The Developer Indemnified Parties shall cooperate in the defense of such proceedings and be available for any litigation related appearances which may be required. Further, the Village shall be entitled to settle any and all claims for money, in such amounts and upon such terms as to payment as it may deem appropriate, without the prior approval or consent of the Developer Indemnified Parties, or any of them, as the case may be, provided that neither the Developer nor any of the other Developer Indemnified Parties shall be required to contribute to such settlement.

350 ARTICLE IV 351 AUTHORITY

- 4.1 Village Powers and Authority. The Village hereby represents and warrants to the Developer that the Village has full constitutional and lawful right, power and authority, under currently applicable law, to execute and deliver and perform the terms and obligations of this Agreement, and the foregoing has been, or will be, duly and validly authorized and approved by all necessary Village proceedings, findings and actions. Accordingly, this Agreement constitutes the legal, valid and binding obligation of the Village, and is enforceable in accordance with its terms and provisions and the execution of this Agreement does not require the consent of any other governmental authority.
- 4.2 **Developer Powers and Authority**. The Developer hereby represents and warrants to the Village that the Developer has full lawful right, power and authority, under currently applicable law, to execute and deliver and perform the terms and obligations of this Agreement, and the foregoing has been or will be duly and validly authorized and approved by all necessary Developer actions. Accordingly, this Agreement constitutes the legal, valid and binding obligation of the Developer, is enforceable in accordance with its terms and provisions and does not require the consent of any other party.
- 4.3 **Authorized Parties**. Except in cases where the approval or authorization of the Village's Corporate Authorities is required by law, whenever, under the provisions of this Agreement, or other related documents and instruments or any duly authorized supplemental agreements, any request, demand, approval, notice or consent of the Village or the Developer is required, or the Village or the Developer is required to agree to, or to take some action at, the request of the other, such request, demand, approval, notice or consent, or agreement shall be given for the Village, unless otherwise provided herein, by the Village Manager or his designee and for

the Developer by any officer of the Developer so authorized (and, in any event, the officers executing this Agreement are so authorized). Any Party shall be authorized to act on any such request, demand, approval, notice or consent, or agreement or other action and neither Party hereto shall have any complaint against the other as a result of any such action taken.

378 379 ARTICLE V DEFAULTS AND REMEDIES

- 5.1 **Breach**. A Party shall be deemed to be in breach this Agreement if it fails to materially perform, observe or comply with any of its covenants, agreements or obligations hereunder or breaches or violates any of its representations contained in this Agreement after the expiration of any cure period applicable thereto.
- 5.2 Cure of Breach. Except as otherwise provided herein, prior to the time that a failure of any Party to this Agreement to perform its obligations hereunder or the failure to perform any other action or omission to perform any such obligation or action described in Section 5.1 shall be deemed to be a breach hereof, the Party claiming such failure shall provide written notification to the Party alleged to have failed to perform of the alleged failure and shall demand performance. No breach of this Agreement may be found to have occurred if performance has commenced to the reasonable satisfaction of the complaining Party within sixty (60) days of the receipt of such notice; provided, however that if the Developer alleges that the Village has failed to pay Incremental Taxes as and when required, then the Village shall have thirty (30) days to cure such default. The prosecution of the conduct necessary to remedy the alleged breach must be diligently pursued until the cure is perfected. The obligation to cure defaults, as herein required, shall be tolled during any applicable time period during which a delay in performance is permitted as an event of one or more Force Majeure Delays under the provisions of Section 6.3 hereof but the

tolling of the performance of any obligation shall be limited to the obligation or action as to which the Force Majeure Delay provisions apply.

In the event that either Party shall breach any provision of this Agreement and fail to cure said breach as provided in the preceding paragraph or as elsewhere provided in this Agreement, the non-defaulting Party may enforce the terms hereof by filing any action or proceeding available at law or in equity, in any court of competent jurisdiction, including an action for specific performance of the covenants and agreements herein contained. Notwithstanding the foregoing, the Village remedy for monetary breaches shall be limited to its actual (but not consequential) damages in an amount not to exceed its out-of-pocket expenses incurred in connection with this Agreement, including attorneys' fees. Except as otherwise set forth herein, no action taken by a Party pursuant to the provisions of this Section 5.2 or pursuant to the provisions of any other section of this Agreement shall be deemed to constitute an election of remedies and all remedies set forth in this Agreement shall be cumulative and nonexclusive of any other remedy either set forth herein or available to any Party at law or in equity. Notwithstanding anything herein to the contrary, in the event that the Developer fails to complete the Project, the Village's sole remedy shall be to withhold payment of Incremental Taxes.

- 5.3 **Default Shall Not Permit Termination of Agreement.** No default under this Agreement shall entitle any Party to terminate, cancel or otherwise rescind this Agreement; provided, however, this limitation shall not affect any other rights or remedies the Parties may have by reason of any default under this Agreement.
- 5.4 **Right to Enjoin.** In the event of any violation or threatened violation of any of the provisions of this Agreement by a Party, any other Party shall have the right to apply to a

court of competent jurisdiction for an injunction against such violation or threatened violation, and/or for a decree of specific performance.

423 ARTICLE VI 424 GENERAL PROVISIONS

- 6.1 **Timing of Essence**. Time is of the essence of this Agreement. The Parties will make every reasonable effort to expedite the subject matters hereof and acknowledge that the successful performance of this Agreement requires their continued cooperation.
- 6.2 **Mutual Assistance.** The Parties agree to take such actions, including the execution and delivery of such documents, instruments and certifications (and, in the case of the Village, the adoption of such ordinances and resolutions), as may be necessary or appropriate from time to time to carry out the terms, provisions and intent of this Agreement and to aid and assist each other in carrying out such terms, provisions and intent. The Village agrees that it shall not revoke or amend one or more of the TIF Ordinances if such revocation or amendment would prevent or impair the development of the Project in accordance with this Agreement or the Village's performance of its obligations hereunder. The Parties shall cooperate fully with each other in securing from any and all appropriate governmental authorities (whether federal, state, county or local) any and all necessary or required permits, entitlements, authorizations and approvals to develop and construct the Project.
- 6.3 **Force Majeure.** Neither the Village nor Developer nor any successor in interest to either of them shall be considered in breach of or in default of its obligations under this Agreement in the event of any delay caused by pandemic, epidemic, governmental restrictions, takings, and limitations arising subsequent, war, state or national emergency, government

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mandated closures, damage or destruction by fire or other casualty, strike, shortage of material, unusually adverse weather conditions such as, by way of illustration and not limitation, severe rain storms or below-freezing temperatures of abnormal degree or for an abnormal duration, tornadoes or cyclones, and other events or conditions beyond the reasonable control of the Party affected which in fact interferes with the ability of such Party to discharge its obligations hereunder (in each case, a "Force Majeure Delay"). In each case where a Party hereto believes its performance of any specific obligation, duty or covenant is delayed or impaired by reason of an event of Force Majeure Delay, the Party claiming the benefit of this Section 6.3 shall notify the other Party of the nature of the event claimed to constitute Force Majeure Delay and, specifically, the obligation, duty or covenant which it believes is delayed or impaired by reason of the designated event. Notification shall be provided in accordance with Section 6.8. Performance of the obligation, duty or covenant impaired by reason of the designated event shall be tolled for that period of time reasonably necessary to remove or otherwise cure the impediment to performance and the Party relying on the event of Force Majeure Delay shall be obligated to pursue such remedy or cure with reasonable diligence given the nature of the impairment, to the extent the same may be reasonably cured. In no case shall an event of Force Majeure Delay toll the performance of any obligation, duty or covenant not directly implicated in the claimed event of Force Majeure Delay. Further, nothing herein shall be deemed to preclude the right of the Party entitled, by the terms of this Agreement, to receive the performance of any obligation, duty or covenant to challenge the validity of a claimed event of Force Majeure Delay. Force Majeure Delays will not apply to a Party's obligation under this Agreement to pay money to another Party.

6.4 **Amendment**. This Agreement, and any exhibits attached hereto, may be amended only by the mutual consent of the Parties evidenced by a written amendment, by the adoption of

an ordinance or resolution of the Village approving said written amendment, as provided by law, and by the execution of said written amendment by the Parties or their successors in interest. Notwithstanding the foregoing, an amendment to the Project Plans shall not require an amendment to this Agreement. In addition, the Village Manager may effect Minor Modifications to this Agreement without the same being deemed an amendment to this Agreement which requires action by the Village President and the Board of Trustees. For the purposes of this Agreement, the term "Minor Modification" means a modification or waiver of any requirement, specification, or other term set forth in this Agreement, consented to by the Parties in writing, whereby such modification or waiver does not materially affect the goals, purposes, or nature of the Agreement.

- 6.5 **Entire Agreement**. This Agreement sets forth all agreements, understandings and covenants between and among the Parties relative to the matters herein contained. This Agreement supersedes all prior agreements, negotiations and understandings, written and oral, and shall be deemed a full integration of the entire agreement of the Parties.
- 6.6 **Severability**. If any provisions, covenants, agreement or portion of this Agreement, or its application to any person, entity or property, is held invalid, such invalidity shall not affect the application or validity of any other provisions, covenants or portions of this Agreement and, to that end, all provisions, covenants, agreements or portions of this Agreement are declared to be severable.
- 6.7 **Consent or Approval.** Except as otherwise specifically provided in this Agreement, whenever consent or approval written or otherwise of any Party to this Agreement is required, such consent or approval shall not be unreasonably withheld, delayed or conditioned.
- 487 6.8 **Illinois Law**. This Agreement shall be construed in accordance with the laws of the 488 State of Illinois.

6.9 Notice. Any notice, request, consent, approval or demand (each, a "Notice") given
or made under this Agreement shall be in writing and shall be given in the following manner: (A)
by personal delivery of such Notice; or (B) by mailing of such Notice by certified mail, return
receipt requested; or (C) by commercial overnight delivery of such Notice for next business day
delivery. All Notices shall be delivered to the addresses set forth in this Section 6.8. Notice served
by certified mail shall be effective on the fifth Business Day (as defined below) after the date of
mailing. Notice served by commercial overnight delivery for next business day shall be effective
on the next Business Day following deposit with the overnight delivery company. For purposes
hereof, the first "business hour" of a Business Day shall be 8:00 a.m. Central time and the last
"business hour" shall be 6:00 p.m. Central time. The term "Business Day" shall be Monday
through Friday, excluding federal and State of Illinois holidays.
If to the Village:
Village of Tinley Park Attn: Village Manager 16250 South Oak Park Avenue Tinley Park, Illinois 60477

502	Attn: Village Manage
503	16250 South Oak Par
504	Timlers Douls Illimaia

dniemeyer@tinleypark.org

with a copy to:

Peterson, Johnson & Murray Chicago, LLC Attn: Kevin Kearney 200 West Adams Street, Suite 2125 Chicago, Illinois 60606

kkearney@pjmchicago.com

If to the Developer:

JMW Properties, LLC 21 Tamarind Lane Key Lago, FL 33037 Attn: Alan Silverman

18	with a copy to	0:
519		Michael Silverman
520		28 South Madison Street
521		Denver CO, 80209
522		
523		Jim Beien
524		3005 W. Catalpa Avenue
525		Chicago, IL 60625
526	And to:	
527		
528		O'Rourke, Hogan, Fowler & Dwyer, LLC
529		10 S. LaSalle Street, Suite 3700
530		Chicago, IL 60603
531		Attn: Howard Goldblatt
532		
533	6.10	Counterparts. This Agreement may be executed in several counterparts, each of
34	which shall b	e an original and all of which shall constitute but one and the same agreement.
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535	6.11	Term of Agreement. The term of this Agreement shall commence on the Effective
536	Date and cont	tinue until the earlier of: (A) the Developer's receipt of the Maximum Reimbursement
537	Amount or (I	B) the last day of the Available Incremental Tax Term, whichever is later; provided,
538	however, the	e Village's obligation to make a final reimbursement payment of Available
539	Incremental '	Taxes under either Available Incremental Tax Term shall survive the term of the
540	Agreement as	nd the Developer's rights and remedies to enforce such obligation shall survive the
541	term of the A	greement.
542	6.12	Good Faith and Fair Dealing. Village and Developer acknowledge their duty to
543	exercise their	r rights and remedies hereunder and to perform their covenants, agreements and
544	obligations h	ereunder, reasonably and in good faith.
545	6.13	Drafting. Each Party and its counsel have participated in the drafting of this
546	Agreement th	nerefore none of the language contained in this Agreement shall be presumptively
547	construed in	favor of or against either Party.

- 6.14 **Recording.** The Developer shall be permitted to record, at its costs and expense, a memorandum of this Agreement with the Cook County Recorder of Deeds.
- 6.15 Covenants Run with the Land/Successors and Assigns. It is intended that the covenants, conditions, agreements, promises, obligations and duties of each Party as set forth in this Agreement shall be construed as covenants and that, to the fullest extent legally possible, all such covenants shall run with and be enforceable against both the covenanted and the Property. Such covenants shall terminate upon termination or expiration of this Agreement. On or before the last date of payment of Incremental Taxes, the Village shall provide a release to confirm termination of this Agreement which Developer may, at its sole cost and expense, record against the Property. This Agreement shall inure to the benefit of, and shall be binding upon each Developer and each Developer's respective successors, grantees and permitted assigns, and upon successor corporate authorities of the Village and successor municipalities.
- 6.16 **Assignment**. Prior to issuance of the Certificate of Completion, Developer may not assign this Agreement, or any rights of obligations hereunder, to any party, except to an affiliate or party providing financing for the Project, without the prior express written consent of the Village. After to issuance of the Certificate of Completion, the Developer may assign this Agreement, or any rights of obligations hereunder, provided that the Developer delivers notice not more than thirty (30) days after such assignment taking effect.
- 6.17 **Partial Funding.** Except as otherwise set for in this Agreement, the Developer acknowledges and agrees that the economic assistance to be received by the Developer as set forth in this Agreement is intended to be and shall be a source of partial funding for the Project and agrees that any additional funding above and beyond said economic assistance shall be solely the responsibility of the Developer. The Developer acknowledges and agrees that the amount of

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economic assistance set forth in this Agreement represents the maximum amount of economic assistance to be received by the Developer, provided the Developer complies with the terms and provisions set forth in this Agreement. The Developer further acknowledges and agrees that the Village is not a joint developer or joint venturer with the Developer and the Village is in no way responsible for completion of any portion of the Project.

6.18 **Attorney Fees.** Should it become necessary to bring legal action or proceedings to enforce this Agreement, or any portion thereof, or to declare the effect of the provisions of this Agreement, the prevailing party shall be entitled to recover or offset against sums due, its costs, including reasonable attorneys' and consultants' fees, in addition to whatever other relief the prevailing party may be entitled.

6.19 **Estoppel Certificates.** Each of the Parties hereto agrees to provide the other, upon not less than ten (10) business days prior request, a certificate certifying that this Agreement is in full force and effect (unless such is not the case, in which such Party shall specify the basis for such claim), that the requesting Party is not in default of any term, provision or condition of this Agreement beyond any applicable notice and cure provision (or specifying each such claimed default) and certifying such other matters reasonably requested by the requesting Party. If either Party fails to comply with this provision within the time limit specified, it shall be deemed to have appointed the other as its attorney-in-fact for execution of same on its behalf as to the specific request only.

[SIGNATURE PAGES FOLLOW]

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593	IN WITNESS WHEREOF, the Parties have duly executed this Agreement pursuant to all
594	requisite authorizations as of the date first above written.
595 596	VILLAGE OF TINLEY PARK, an Illinois Municipal Corporation
597 598 599	By: Village President
500	ATTEST:
601 602	Village Clerk
	JMW Properties, LLC, a Delaware limited liability company
	By:
	Name: Its: ,
	Its:,

603 604	STATE OF ILLINOIS)) SS
605	COUNTY OF COOK)
606	I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO
607	HEREBY CERTIFY that the above-named is personally known to
608	me to be the of, and also personally
609	known to me to be the same person whose name is subscribed to the foregoing instrument as such
610	and respectively, and that he appeared before me this day in person
611	and severally acknowledged that, as such, he signed and delivered
612	the said instrument, pursuant to authority given by the limited partnership as his free and voluntary
613	act, and as the free and voluntary act and deed of said of said limited
614	partnership, for the uses and purposes therein set forth.
615	GIVEN under my hand and official seal, this day of, 2021.
616 617	Commission expires Notary Public
618	
619 620	

EXHIBIT A

Legal Description of Redevelopment Project Area

THOSE PARTS OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12, SECTION 18, TOWNSHIP 36 NORTH, RANGE 13, SECTION 19, TOWNSHIP 36 NORTH, RANGE 13, ALL EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 1 IN SUPER-K SUBDIVISION AS PER PLAT THEREOF RECORDED MARCH 20, 1991 AS DOCUMENT NUMBER 97195157;

THENCE NORTHERLY ALONG THE WEST LINE OF LOT 1 IN SAID SUPER-K SUBDIVISION AND THE WEST LINE OF LOT 2 IN SAID SUPER-K SUBDIVISION, TO THE NORTH LINE OF SAID LOT 2;

THENCE EASTERLY ALONG THE NORTH LINE OF LOT 2 IN SAID SUPER-K SUBDIVISION, TO A WEST LINE OF LOT 3 IN SAID SUPER-K SUBDIVISION;

THENCE NORTHERLY, NORTHWESTERLY AND NORTHERLY ALONG THE WEST LINES OF LOT 3 IN SAID SUPER-K SUBDIVISION, TO THE WESTERN MOST NORTHWEST CORNER OF SAID LOT 3, ALSO BEING THE WESTERN MOST SOUTHWEST CORNER OF LOT 1 IN PARK PLACE SUBDIVISION AS PER PLAT THEREOF RECORDED DECEMBER 7, 1992 AS DOCUMENT NUMBER 92914537;

THENCE NORTHERLY ALONG THE WEST LINE OF LOT 1 IN SAID PARK PLACE SUBDIVISION TO THE NORTH LINE OF LOT 1 IN SAID PARK PLACE SUBDIVISION AND THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE WESTERLY ALONG THE SOUTH LINE OF SOUTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE NORTHERLY ALONG SAID WEST LINE, TO THE SOUTH LINE OF OLCOTT AVENUE DEDICATED AS PER PLAT THEREOF RECORDED JUNE 28, 1973 AS DOCUMENT NUMBER 22379900;

THENCE EASTERLY ALONG SAID SOUTH LINE, TO THE EAST LINE OF OLCOTT AVENUE DEDICATED AS PER PLAT THEREOF RECORDED JUNE 28, 1973 AS DOCUMENT NUMBER;

THENCE NORTHERLY ALONG SAID EAST LINE, AND THE NORTHERLY PROLONGATION THEREOF TO THE NORTH LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE EASTERLY ALONG SAID NORTH LINE, TO THE NORTHEAST CORNER OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE SOUTHERLY TO THE SOUTHWEST CORNER OF SECTION 18, ALSO THE NORTHWEST CORNER OF SECTION 19, BOTH IN TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE EASTERLY ALONG THE SOUTH LINE OF SECTION 18, ALSO THE NORTH LINE OF SECTION 19, BOTH IN TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE WEST LINE OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE NORTHERLY ALONG THE WEST LINE OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE NORTH LINE OF THE SOUTH 600 FEET OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE EASTERLY ALONG THE NORTH LINE OF THE SOUTH 600 FEET OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, ALSO THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE SOUTHERLY ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE NORTH LINE OF THE SOUTH 247 FEET OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE EASTERLY ALONG THE NORTH LINE OF THE SOUTH 247 FEET OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE EAST LINE OF

THE WEST 50 FEET OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE SOUTHERLY ALONG THE EAST LINE OF THE WEST 50 FEET OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO A POINT 15 FEET NORTH OF THE RIGHT OF WAY OF 159TH STREET AS INDICATED IN SPECIAL WARRANTY DEED RECORDED SEPTEMBER 28, 2011 AS DOCUMENT NUMBER 1127141045;

THENCE SOUTHEASTERLY TO A POINT OF INTERSECTION WITH THE NORTH RIGHT OF WAY LINE OF 159TH STREET AND THE EAST LINE OF THE WEST 65 FEET OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS AS INDICATED IN SPECIAL WARRANTY DEED RECORDED SEPTEMBER 28, 2011 AS DOCUMENT NUMBER 1127141045;

THENCE EASTERLY, SOUTHERLY AND EASTERLY ALONG THE RIGHT OF WAY OF 159TH STREET, TO THE NORTHERLY PROLONGATION OF THE EAST LINE OF THE WEST 300 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE SOUTHERLY ALONG THE EAST LINE OF THE WEST 300 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE SOUTH LINE OF THE NORTH 300 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE WESTERLY ALONG THE SOUTH LINE OF THE NORTH 300 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE WEST LINE OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, ALSO THE EAST LINE OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE SOUTHERLY ALONG THE WEST LINE OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, ALSO THE EAST LINE OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE

EASTERLY PROLONGATION OF THE SOUTH LINE OF PARCEL OF LAND BEING PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING ON THE SOUTH RIGHT OF WAY LINE OF 159TH STREET AS DEDICATED BY PLAT OF DEDICATION RECORDED JULY 8, 1932 AS DOCUMENT NUMBER 11113021 AND RATIFICATION THEREOF FILE APRIL 8, 1971 AS DOCUMENT NUMBER LR2551034, A DISTANCE OF 183.00 FEET WEST OF THE EAST LINE OF SAID NORTHWEST QUARTER; THENCE WEST 180.00 FEET ALONG LAST SAID SOUTH LINE; THENCE SOUTH 5.00 FEET; THENCE WEST 200.00 FEET ALONG A LINE 5.00 FEET SOUTH OF AND PARALLEL TO THE SOUTH LINE OF SAID 159TH STREET; THENCE NORTH 5.00 FEET; THENCE WEST 307.62 FEET ALONG THE SOUTH LINE OF SAID 159TH STREET; THENCE SOUTH 1050.00 FEET ON A LINE NORMAL TO SAID SOUTH LINE OF 159TH STREET; THENCE EAST 845.55 FEET TO THE WEST RIGHT OF WAY LINE OF OAK PARK AVENUE (WHICH IS 33.00 FEET WEST OF THE EAST LINE OF SAID NORTHWEST QUARTER OF SAID SECTION); THENCE NORTH ALONG LAST SAID WEST LINE 355.45 FEET TO A POINT 694.55 FEET SOUTH FROM THE SOUTH RIGHT OF WAY LINE OF 159TH STREET; THENCE WEST 17.00 FEET; THENCE NORTH 555.63 FEET; THENCE WEST 133.00 FEET; THENCE NORTH 139.68 FEET TO THE SOUTH LINE OF 159TH STREET AND THE POINT OF BEGINNING;

THENCE WESTERLY ALONG THE EASTERLY PROLONGATION OF THE SOUTH LINE AND THE SOUTH LINE OF PARCEL OF LAND BEING PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING ON THE SOUTH RIGHT OF WAY LINE OF 159TH STREET AS DEDICATED BY PLAT OF DEDICATION RECORDED JULY 8, 1932 AS DOCUMENT NUMBER 11113021 AND RATIFICATION THEREOF FILE APRIL 8, 1971 AS DOCUMENT NUMBER LR2551034, A

DISTANCE OF 183.00 FEET WEST OF THE EAST LINE OF SAID NORTHWEST QUARTER; THENCE WEST 180.00 FEET ALONG LAST SAID SOUTH LINE; THENCE SOUTH 5.00 FEET; THENCE WEST 200.00 FEET ALONG A LINE 5.00 FEET SOUTH OF AND PARALLEL TO THE SOUTH LINE OF SAID 159TH STREET; THENCE NORTH 5.00 FEET; THENCE WEST 307.62 FEET ALONG THE SOUTH LINE OF SAID 159TH STREET; THENCE SOUTH 1050.00 FEET ON A LINE NORMAL TO SAID SOUTH LINE OF 159TH STREET; THENCE EAST 845.55 FEET TO THE WEST RIGHT OF WAY LINE OF OAK PARK AVENUE (WHICH IS 33.00 FEET WEST OF THE EAST LINE OF SAID NORTHWEST QUARTER OF SAID SECTION); THENCE NORTH ALONG LAST SAID WEST LINE 355.45 FEET TO A POINT 694.55 FEET SOUTH FROM THE SOUTH RIGHT OF WAY LINE OF 159TH STREET; THENCE WEST 17.00 FEET; THENCE NORTH 555.63 FEET; THENCE WEST 133.00 FEET; THENCE NORTH 139.68 FEET TO THE SOUTH LINE OF 159TH STREET AND THE POINT OF BEGINNING, TO THE SOUTHWEST CORNER THEREOF AND ALSO THE SOUTHEAST CORNER OF PARCEL OF LAND BEING PART OF THE WEST HALF AND THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTH RIGHT OF WAY LINE OF 159TH STREET AS DEDICATED BY PLAT OF DEDICATION RECORDED JULY 8, 1932 AS DOCUMENT NUMBER 11113021 AND RATIFICATION THEREOF FILED APRIL 8, 1971 AS DOCUMENT LR 2551034 AND THE LINE BETWEEN THE EAST HALF AND THE WEST HALF OF SAID NORTHWEST QUARTER; THENCE WEST 117.55 FEET ALONG SAID SOUTH RIGHT OF WAY LINE 1094 FEET EAST OF THE WEST LINE OF SAID NORTHWEST QUARTER; THENCE SOUTH 1050 FEET ON LAST SAID LINE; THENCE EAST 451.56 FEET ON A LINE 1050 FEET SOUTH OF AND PARALLEL TO SAID SOUTH RIGHT OF WAY LINE; THENCE NORTH 1050 FEET TO SAID SOUTH RIGHT OF WAY LINE A DISTANCE OF 339.11 FEET EAST OF THE POINT OF BEGINNING; THENCE WEST 339.11 FEET ON LAST SAID RIGHT OF WAY LINE TO THE POINT OF BEGINNING;

THENCE CONTINUING WESTERLY ON THE SOUTH LINE OF PARCEL OF LAND BEING PART OF THE WEST HALF AND THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTH RIGHT OF WAY LINE OF 159TH STREET AS DEDICATED BY PLAT OF DEDICATION RECORDED JULY 8, 1932 AS DOCUMENT NUMBER 11113021 AND RATIFICATION THEREOF FILED APRIL 8, 1971 AS DOCUMENT LR 2551034 AND THE LINE BETWEEN THE EAST HALF AND THE WEST HALF OF SAID NORTHWEST QUARTER; THENCE WEST 117.55 FEET ALONG SAID SOUTH RIGHT OF WAY LINE 1094 FEET EAST OF THE WEST LINE OF SAID NORTHWEST QUARTER; THENCE SOUTH 1050 FEET ON LAST SAID LINE; THENCE EAST 451.56 FEET ON A LINE 1050 FEET SOUTH OF AND PARALLEL TO SAID SOUTH RIGHT OF WAY LINE; THENCE NORTH 1050 FEET TO SAID SOUTH RIGHT OF WAY LINE A DISTANCE OF 339.11 FEET EAST OF THE POINT OF BEGINNING; THENCE WEST 339.11 FEET ON LAST SAID RIGHT OF WAY LINE TO THE POINT OF BEGINNING, TO THE WESTERN MOST NORTHWEST CORNER OF OUTLOT C IN DUN RAVEN PLACE PHASE II AS PER PLAT THEREOF RECORDED SEPTEMBER 28, 2001 AS DOCUMENT NUMBER 0010908493;

THENCE SOUTHWESTERLY TO A POINT OF TANGENCY IN THE NORTH LINE OF OUTLOT D IN DUNRAVEN PLACE AS PER PLAT THEREOF RECORDED AUGUST 30, 1999 AS DOCUMENT NUMBER 99827216 BEING THE WESTERLY TERMINUS OF AN ARC HAVING A RADIUS OF 192.00 FEET AND AN ARC LENGTH OF 300.13 FEET;

THENCE WESTERLY AND SOUTHWESTERLY ALONG THE NORTHERLY LIMITS OF OUTLOT D IN DUNRAVEN PLACE AS PER PLAT THEREOF RECORDED AUGUST 30, 1999 AS DOCUMENT NUMBER 99827216, TO THE EASTERLY PROLONGATION OF THE SOUTH LINE OF PARCEL OF LAND DESCRIBED AS FOLLOWS: THAT PART OF LOT 3 LYING NORTH OF A LINE DRAWN PARALLEL WITH THE NORTH LINE OF SAID LOT 3 THROUGH A POINT IN THE WEST LINE OF SAID LOT 3 WHICH POINT IS 352.19 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT 3 AS MEASURED ALONG SAID WEST LINE ALL IN CENTENNIAL OFFICE PARK AS PER PLAT THEREOF RECORDED OCTOBER 5, 1988 AS DOCUMENT NUMBER 88458264;

THENCE WESTERLY ALONG THE EASTERLY PROLONGATION OF THE SOUTH LINE AND THE SOUTH LINE OF PARCEL OF LAND DESCRIBED AS FOLLOWS: THAT PART OF LOT 3 LYING NORTH OF A LINE DRAWN PARALLEL WITH THE NORTH LINE OF SAID LOT 3 THROUGH A POINT IN THE WEST LINE OF SAID LOT 3 WHICH POINT IS

352.19 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT 3 AS MEASURED ALONG SAID WEST LINE ALL IN CENTENNIAL OFFICE PARK AS PER PLAT THEREOF RECORDED OCTOBER 5, 1988 AS DOCUMENT NUMBER 88458264, TO THE WEST LINE OF SAID LOT 3, ALSO THE EAST LINE OF LOT 1 IN TINLEY PARK PLAZA SUBDIVISION AS PER PLAT THEREOF RECORDED APRIL 7, 2004 AS DOCUMENT NUMBER 0409818067;

THENCE SOUTHERLY ALONG THE EAST LINE OF LOT 1 IN TINLEY PARK PLAZA SUBDIVISION AS PER PLAT THEREOF RECORDED APRIL 7, 2004 AS DOCUMENT NUMBER 0409818067, ALSO THE WEST LINE OF CENTENNIAL SUBDIVISION UNIT NO. 1 AS PER PLAT THEREOF RECORDED JULY 2, 1984 AS DOCUMENT NUMBER 27155558, TO THE SOUTH LINE OF CENTENNIAL SUBDIVISION UNIT NO. 1 AS PER PLAT THEREOF RECORDED JULY 2, 1984 AS DOCUMENT NUMBER 27155558;

THENCE SOUTHEASTERLY ALONG THE SOUTH LINE OF CENTENNIAL SUBDIVISION UNIT NO. 1 AS PER PLAT THEREOF RECORDED JULY 2, 1984 AS DOCUMENT NUMBER 27155558, TO THE WESTERLY LINE OF CENTENNIAL DRIVE AS DEDICATED BY INSTRUMENT RECORDED JULY 9, 1980 AS DOCUMENT NUMBER 25509385;

THENCE CONTINUING SOUTHEASTERLY ALONG THE SOUTHEASTERLY PROLONGATION OF THE SOUTH LINE OF CENTENNIAL SUBDIVISION UNIT NO. 1 AS PER PLAT THEREOF RECORDED JULY 2, 1984 AS DOCUMENT NUMBER 27155558, TO THE WEST LINE OF PARCEL 4 IN FINAL PLAT OF MEADOW MEWS PHASE ONE PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378525 (RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC);

THENCE SOUTHERLY ON THE WEST LINE OF PARCEL 4 IN FINAL PLAT OF MEADOW MEWS PHASE ONE PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378525 (RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC), TO THE SOUTHEAST LINE OF PARCEL 4 IN FINAL PLAT OF MEADOW MEWS PHASE ONE PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378525 (RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC);

THENCE NORTHEASTERLY ALONG THE SOUTHEAST LINE OF PARCEL 4 IN FINAL PLAT OF MEADOW MEWS PHASE ONE PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378525 (RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC) AND THE SOUTHEAST LINE OF PARCEL 14 IN FINAL PLAT OF MEADOW MEWS PHASE TWO PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378524

(RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC), TO THE

SOUTHWEST LINE OF PARCEL 14 IN FINAL PLAT OF MEADOW MEWS PHASE TWO PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378524 (RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC);

THENCE SOUTHEASTERLY ALONG THE SOUTHWEST LINE OF PARCEL 14 IN FINAL PLAT OF MEADOW MEWS PHASE TWO PUD AS PER PLAT THEREOF RECORDED MAY 19, 1993 AS DOCUMENT NUMBER 93378524 (RECORDING INFORMATION BASED UPON 2019 TAX MAP FOR COOK COUNTY, ILLINOIS BECAUSE OF CLOSURE OF COOK COUNTY RECORDER'S OFFICE DUE TO COVID-19 PANDEMIC), TO THE NORTH LINE OF PARCEL OF LAND BEING PART OF THE WEST HALF OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SECTION 19; THENCE NORTH 89 DEGREES 43 MINUTES WEST (BEARINGS ASSUMED FOR PURPOSES OF THIS PARCEL ONLY) 585 FEET ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER TO A POINT OF CURVE; THENCE SOUTHWESTERLY ON A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 258.72 FEET, AN ARC DISTANCE OF 101.52 FEET AND A CHORD BEARING OF SOUTH 79 DEGREES 02 MINUTES 33 SECONDS WEST; THENCE NORTH 68 DEGREES 24 MINUTES 11 SECONDS WEST 79.57 FEET; THENCE NORTH 00 DEGREES 12 MINUTES 54 SECONDS EAST 533 FEET; THENCE SOUTH 89 DEGREES 43 MINUTES EAST 755.40 FEET, TO THE EAST LINE OF SAID WEST HALF OF SECTION 19; THENCE SOUTH 00 DEGREES 03 MINUTES 54 SECONDS EAST 542.27 FEET ALONG SAID LINE TO THE POINT OF BEGINNING:

THENCE EASTERLY ALONG THE NORTH LINE OF PARCEL OF LAND BEING PART OF THE WEST HALF OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SECTION 19; THENCE NORTH 89 DEGREES 43 MINUTES WEST (BEARINGS ASSUMED FOR PURPOSES OF THIS PARCEL ONLY) 585 FEET ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER TO A POINT OF CURVE; THENCE SOUTHWESTERLY ON A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 258.72 FEET, AN ARC DISTANCE OF 101.52 FEET AND A CHORD BEARING OF SOUTH 79 DEGREES 02 MINUTES 33 SECONDS WEST; THENCE NORTH 68 DEGREES 24 MINUTES 11 SECONDS WEST 79.57 FEET; THENCE NORTH 00 DEGREES 12 MINUTES 54 SECONDS EAST 533 FEET; THENCE SOUTH 89 DEGREES 43 MINUTES EAST 755.40 FEET, TO THE EAST LINE OF SAID WEST HALF OF SECTION 19; THENCE SOUTH 00 DEGREES 03 MINUTES 54 SECONDS EAST 542.27 FEET ALONG SAID LINE TO THE POINT OF BEGINNING, TO THE EAST LINE OF THE WEST HALF OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE SOUTHERLY ALONG THE EAST LINE OF THE WEST HALF OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE EASTERLY PROLONGATION OF THE NORTH LINE OF LOT 1 IN WARTHEN'S RESUBDIVISION AS PER PLAT THEREOF RECORDED SEPTEMBER 4, 1975 AS DOCUMENT NUMBER 23210202;

THENCE WESTERLY ALONG THE NORTH LINE OF LOT 1, THE WESTERLY PROLONGATION OF THE NORTH LINE OF LOT 1 AND THE NORTH LINE OF LOT 2 ALL IN WARTHEN'S RESUBDIVISION AS PER PLAT THEREOF RECORDED SEPTEMBER 4, 1975 AS DOCUMENT NUMBER 23210202, TO THE SOUTH LINE OF BREMEN TOWNE DRIVE AS HERETOFORE DEDICATED IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND FILED AS LR2419778

THENCE WESTERLY, SOUTHWESTERLY AND SOUTHERLY ALONG THE SOUTH LINE, SOUTHEAST LINE AND EAST LINE OF BREMEN TOWN DRIVE AS HERETOFORE DEDICATED IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND FILED AS LR2419778, TO THE SOUTHWEST LINE OF BREMEN TOWNE DRIVE AS HERETOFORE DEDICATED IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND FILED AS LR2419778;

THENCE NORTHWESTERLY ALONG THE SOUTHWEST LINE OF BREMEN TOWNE DRIVE AS HERETOFORE DEDICATED IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND FILED AS LR2419778, TO THE WEST LINE OF BREMEN TOWNE DRIVE AS HERETOFORE DEDICATED IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND FILED AS LR2419778;

THENCE NORTHERLY ALONG THE WEST LINE OF BREMEN TOWNE DRIVE AS HERETOFORE DEDICATED IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND FILED AS LR2419778 TO THE NORTH LINE OF LOT 16 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252;

THENCE WESTERLY ALONG THE NORTH LINE OF LOT 16 AND THE NORTH LINE OF LOT 15 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252, TO THE SOUTHERLY PROLONGATION OF THE EAST LINE OF LOT 17 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252;

THENCE NORTHERLY ALONG THE SOUTHERLY PROLONGATION OF THE EAST LINE OF LOT 17, AND THE EAST LINE OF LOT 17 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252, TO THE SOUTHEAST CORNER OF LOT 18 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252;

THENCE NORTHERLY, WESTERLY, NORTHERLY, EASTERLY AND NORTHERLY ALONG THE EASTERN LIMITS OF LOT 18 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252, TO THE NORTHEAST CORNER OF LOT 18 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252;

THENCE WESTERLY ALONG THE NORTH LINE OF LOT 18, THE NORTH LINE OF LOT 19, THE NORTH LINE OF LOT 20, THE NORTH LINE OF LOT 21 AND THE NORTH LINE OF LOT 26 ALL IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252, TO THE EAST LINE OF LOT 27 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252;

THENCE NORTHERLY ALONG THE EAST LINE OF LOT 27 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252, TO THE NORTH LINE OF LOT 27 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252;

THENCE WESTERLY ALONG THE NORTH OF LOT 27 IN BREMEN WOODE SUBDIVISION AS PER PLAT THEREOF RECORDED OCTOBER 30, 1978 AS DOCUMENT NUMBER T3056252, TO THE WEST LINE OF PARCEL OF LAND BEING PART OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 19; THENCE SOUTH 89 DEGREES 43 MINUTES EAST (BEARINGS ASSUMED FOR PURPOSES OF THIS PARCEL ONLY) 908 FEET ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 43 MINUTES EAST 258.81 FEET ALONG SAID NORTH LINE; THENCE SOUTH 657.03 FEET; THENCE NORTH 89 DEGREES 59 MINUTES 58 SECONDS WEST 244.05 FEET; THENCE NORTH 116.32 FEET; THENCE NORTH 89 DEGREES 01 MINUTES 30 SECONDS WEST 15 FEET; THENCE NORTH 00 DEGREES 01 MINUTES 30 SECONDS EAST 542 FEET TO THE POINT OF BEGINNING;

THENCE NORTHERLY ALONG THE WEST LINE OF PARCEL OF LAND BEING PART OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 19; THENCE SOUTH 89 DEGREES 43 MINUTES EAST (BEARINGS ASSUMED FOR

PURPOSES OF THIS PARCEL ONLY) 908 FEET ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 43 MINUTES EAST 258.81 FEET ALONG SAID NORTH LINE; THENCE SOUTH 657.03 FEET; THENCE NORTH 89 DEGREES 59 MINUTES 58 SECONDS WEST 244.05 FEET; THENCE NORTH 116.32 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 30 SECONDS WEST 15 FEET; THENCE NORTH 00 DEGREES 01 MINUTES 30 SECONDS EAST 542 FEET TO THE POINT OF BEGINNING, TO THE NORTH LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS;

THENCE WESTERLY ALONG THE NORTH LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, TO THE SOUTH LINE OF 163RD STREET AS DEDICATED BY PLAT OF DEDICATION RECORDED APRIL 15, 1976 AS DOCUMENT NUMBER 23453671 AND T2864222;

THENCE SOUTHWESTERLY AND WESTERLY ALONG THE SOUTH LINE OF 163RD STREET AS DEDICATED BY PLAT OF DEDICATION RECORDED APRIL 15, 1976 AS DOCUMENT NUMBER 23453671 AND T2864222, TO THE EAST LINE OF HARLEM AVENUE EXISTING AS OF MAY 25, 2020;

THENCE SOUTHERLY ALONG THE EAST LINE OF HARLEM AVENUE EXISTING AS OF MAY 25, 2020, TO THE EASTERLY PROLONGATION OF THE SOUTH LINE OF THE SOUTH LINE OF LOT 1 IN SUPER-K SUBDIVISION AS PER PLAT THEREOF RECORDED MARCH 20, 1991 AS DOCUMENT NUMBER 97195157;

THENCE WESTERLY ALONG THE EASTERLY PROLONGATION OF THE SOUTH LINE OF LOT 1 AND THE SOUTH LINE OF LOT 1 IN SUPER-K SUBDIVISION AS PER PLAT THEREOF RECORDED MARCH 20, 1991 AS DOCUMENT NUMBER 97195157, TO THE POINT OF BEGINNING.

EXCEPTING FROM THE ABOVE THE FOLLOWING DESCRIBED PARCELS OF LAND:

LOT 83 THROUGH LOT 89 (BOTH INCLUSIVE) IN BREMEN TOWNE UNIT NO. 1 AS PER PLAT THEREOF RECORDED NOVEMBER 4, 1968 AS DOCUMENT NUMBER 20666550 AND T2419778.

ALSO,

LOT 1 THROUGH LOT 12 (BOTH INCLUSIVE) IN BREMENTOWNE PARK TOWNHOUSE RESUBDIVISION PHASE I AS PER PLAT THEREOF RECORDED DECEMBER 21, 1990 AS DOCUMENT NUMBER 90619247.

ALSO,

LOT 1 THROUGH LOT 5 (BOTH INCLUSIVE) IN BREMENTOWNE PARK TOWNHOUSE RESUBDIVISION PHASE II AS PER PLAT THEREOF RECORDED OCTOBER 28, 1993 AS DOCUMENT NUMBER 93870509.

Map of Redevelopment Project Area

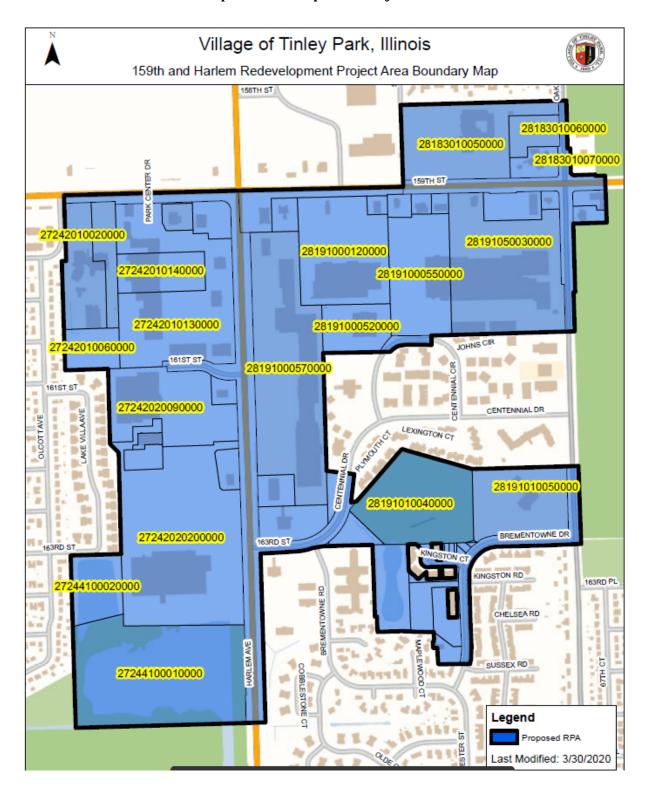


EXHIBIT B

Legal Description and Map of Property

THAT PART OF THE WEST ½ OF THE NORTHWEST ¼ OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING ON A LINE 1094 FEET EAST OF THE WEST LINE OF SAID NORTHWEST ¼ AT THE SOUTH RIGHT-OF-WAY LINE OF 159TH STREET; THENCE SOUTH ON SAID LINE 1094 FEET EAST OF SAID WEST LINE 800 FEET; THENCE NORTH 89 DEGREES 57 MINUTES 45 SECONDS WEST 665 FEET TO THE EAST LINE OF THE WEST 26 RODS OF SAID WEST ½ OF THE NORTHWEST ¼; THENCE NORTH 790 FEET ALONG SAID LAST SAID LINE TO THE SOUTH RIGHT-OF-WAY LINE OF 159TH STREET; THENCE NORTH 87 DEGREES 15 MINUTES 43 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE 212.24 FEET; THENCE SOUTH 89 DEGREES 57 MINUTES 45 SECONDS EAST ALONG SAID RIGHT-OF-WAY LINE 453 FEET TO THE PLACE OF BEGINNING (EXCEPTING THEREFROM THE NORTH 150 FEET OF THE EAST 150 FEET), ALL IN COOK COUNTY, ILLINOIS.

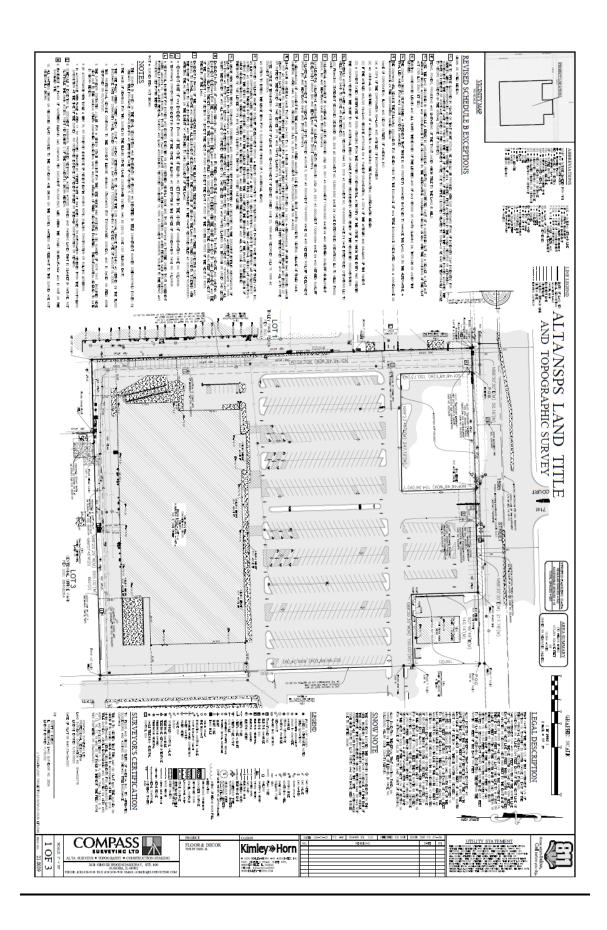
ALSO EXCEPTING THEREFROM THAT PORTION TAKEN BY CONDEMNATION BY THE STATE OF ILLINOIS, IN CASE NO. 93 L 50936, ALL IN COOK COUNTY, ILLINOIS.

Legal Description of Property

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PIN(S): 28-19-100-057; 28-19-100-058

COMMONLY KNOWN AS: 7061-7063 159th Street Tinley Park, Illinois



VILLAGE OF TINLEY...

EXHIBIT C

Project Plans

EXHIBIT D

Project & Redevelopment Budgets

Project Budget	
Brokerage Commissions	\$585,000
Asbestos Removal	\$300,000
Parking Lot Repair Phase 1 (includes landscaping)	\$150,000
Parking Lot Repair Phase 2	\$300,000
New Roof Installation	\$485,000
Legal, Engineering, Architectural, ect	\$75,000
Developer's Fee	\$375,000
Total	\$2,270,000
Redevelopment Budget	
New Roof Installation*	\$485,000
Parking Lot Repair Phase 1 (includes landscaping)	150,000
Parking Lot Resurfacing (Phase II)	\$300,000
Asbestos Removal	\$300,000
Total Redevelopment Costs	\$1,235,000

^{*}Only 80% of roof cost will be covered by Village. In the event Hobby Lobby does not execute a lease by August 30, 2021, the Village shall reduce the portion of reimbursement to 50% of the roof installation costs.

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EXHIBIT E

Form of Disclosure Affidavit

State of III	linois)			
County of) ss)			
		reside at		in the
. ,. Citv/Villa	ge of	County of		State of
Illinois, befollowing:	ge ofeing first duly sworn and having p	personal knowledge of th	ne below facts, swe	ar to the
That I am "Develope	n over the age of eighteen and ser er").	rve as the	of	(the
	e property in question has linois, and with a Property Index Nu			
"Redevelo	opment Property").		(****	<i>71</i>
official or of every of every of Project, and income of project aft. As the own that (choose	me Developer and the Village, Illinoise managing member or agent to submit where and beneficiary who will obtain and every shareholder who will be entire any corporation having any interest, are this transaction is consummated. The entire transaction is consummated.	t a sworn affidavit to the Vin any interest, real or per tled to receive more than real or personal, in the Re cial or managing member	Village disclosing the rsonal, in the Proper 7.5% of the total distedevelopment Proper or agent, I declare un	e identity ty and/or tributable ty and/or nder oath
(a) Th	ne owners or beneficiaries of the trust	are		; or
(b) Th	ne shareholders with more than 7.5%	interest are		; or
(c) Th	ne members with more than 7.5% inte	erest in the limited liability	y company are	_, or
` /	ne corporation is publicly traded and the corporation.	here is no readily known i	ndividual having gre	ater than
	ument is made to induce the Village with the Illinois law.	ge to enter into the redev	velopment agreemer	nt and in
		Affiant:		
Subscribed	d and Sworn to before me this	_ day of September, 2020	·	_
Notary Du	hlic			
	11111.			

EXHIBIT F

Form of Certificate of Expenditure

Date:	, 2021
To:	Village of Tinley Park, (the "Village")
Re:	JMW PROPERTIES, LLC ("Developer") \$ Incremental Ta Reimbursement
Finance "Rede	ertificate of Expenditure is provided pursuant to the Village of Tinley Park Tax Incremering Redevelopment Agreement (Phase I) by and between Developer and the Village, date, 2021, as authorized pursuant to Resolution No. 2020-R (the Velopment Agreement"). All terms used herein shall have the same meaning as when use Redevelopment Agreement.
charge Costs.	per hereby certifies that, as of the date hereof, \$
the da	TNESS WHEREOF, Developer has caused this certification to be signed on its behalf as one shown above. Properties, LLC
Name	
097205.0	0009 4821-8878-9953.5

EXHIBIT G

PHASE 11 WORK

(RESURFACING OF ENTIRE PARKING LOT)



PLAN COMMISSION STAFF REPORT

May 27, 2021 - Workshop & Public Hearing

Petitioner

Joseph Colucci of Union Bar & Grill (tenant)

Property Location

17821 80th Avenue

PIN

27-36-121-031-0000

Zoning

B-1, Neighborhood Shopping

Urban Design Overlay District (UDOD)

Approvals Sought

Site Plan Approval Variation

Project Planner

Daniel Ritter, AICP Senior Planner

Union Bar & Grill Patio Addition

17821 80th Avenue



EXECUTIVE SUMMARY

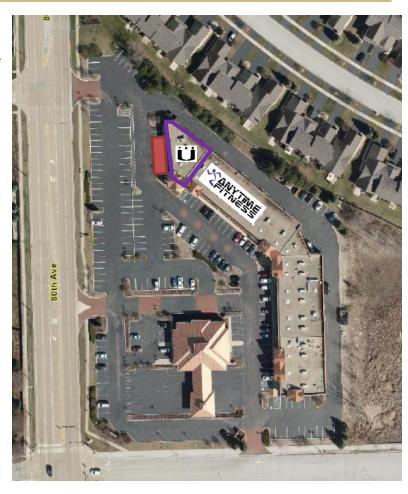
Joseph Colucci of Union Bar & Grill (Tenant/Petitioner) has requested Site Plan Approval for the construction of an outdoor dining patio at their restaurant located at 17821 80th Avenue in the B-1 (Neighborhood Shopping) zoning district. The proposal includes the addition of an approximately 900 sq. ft. patio with a pergola where there is currently parking. Additionally, a Variation from Section VIII.A.10. (Number of Parking Spaces Required) of the Zoning Code is being requested due to the proposed reduction of parking stalls below the minimum required for the overall shopping center.

The Petitioner is proposing the patio for an attractive and inviting entrance to their restaurant. The plan for the patio addition has been accelerated due to the pandemic and an increased desire for customers to sit outside. The patio area will be added where there is currently parking and will be elevated to the height of the current walkway that is adjacent to the restaurant. Changes to the ADA access and accessible parking are also proposed to ensure that accessibility remains to the business and the new patio area.

The overall shopping center is approximately 29,000 sq. ft. in size and has 162 existing parking stalls. Based on the current code requirements, 188 parking stalls are required. The Petitioner proposes to reduce the parking field by 7 total stalls where the patio is proposed. The result is a proposed total of 155 parking stalls on the site. Parking in the overall shopping center has not been an issue based on recent parking counts. While there are 3 vacancies those spaces are relatively small and not expected to generate large amounts of traffic. Additionally, Union Bar & Grill's peak times run counter to many of the other businesses in the center including the largest tenant, Anytime Fitness.

EXISTING SITE & HISTORY

The proposed tenant space is located within The Junction at 80th Avenue shopping center which includes approximately 29,000 square feet of commercial space and is located just north of the 80th Avenue train station. The shopping center was approved in 1997 and constructed in 1998. The architecture, site layout, and high-quality materials used throughout the center were required to complement the location near the train station. The center currently includes many tenants including a Chinese restaurant, travel agent, cleaners, dentist, salon, physical therapist, and an accountant service. Additionally, there is a bank out lot (currently CIBC) on the southwest corner of the site. The bank and shopping center have an existing cross-parking agreement that was required during the initial development approvals. The existing Anytime Fitness opened in 2020 and was previously Sanfrantello's Pizza, a casual Italian restaurant and banquet facility. The approximately 6,000 square foot tenant space is the largest tenant space in the shopping center and did previously result. Three tenant spaces are currently vacant.



ZONING & NEARBY LAND USES

The shopping center is zoned B-1 Neighborhood Shopping. The B-1 zoning district permits mostly lower-intensity uses so that traffic generation and other negative effects on surrounding residential areas are limited. The shopping center is located within the Urban Design Overlay District (UDOD), but was developed before its adoption into the zoning code. The UDOD intends to promote development that is walkable, utilizes alternative forms of transportation, and reduce the undesirable effects of automobiles.

The surrounding area includes single-family homes zoned R-3 (Single-Family Residential) to the west across 80th Avenue. To the south is the Tinley Park 80th Avenue Metra Station parking lot zoned ORI (Office and Restricted Industrial). To the east are single-family attached townhomes zoned R-5 PD (Low-Density Residential, Bristol Park PUD).

PROPOSED USE & SITE PLAN

The Petitioner is proposing to replace a parking area directly outside of their restaurant with a permanent outdoor patio for dining. The patio would be approximately 900 sq. ft. (18'x55') but may change slightly depending on how the final building and engineering plans result. The patio will be on the other side of an existing walkway that is used as the main entrance to the business. The walkway will remain but there will be minor changes to it due to relocating the accessible access and parking for the tenant space. The new accessible stall will be north of the patio with an adjacent access aisle. The access aisle will lead to a depression in the sidewalk for wheelchair access to the business.

The patio location has been push south so that it is located behind the building. This was done to avoid any potential visibility or noise issues from the patio to the neighboring properties to the north. Additionally, planters are proposed to be installed on the top of the adjacent dumpster to further buffer views of the patio and parking lot.

The patio will be raised to be level with the existing walkway and building entrance height. This will mean there is at least a 6" grade separation from the patio and the adjacent parking stall and drive aisle. Additionally, a



Above: Example of proposed aluminum fencing around patio.

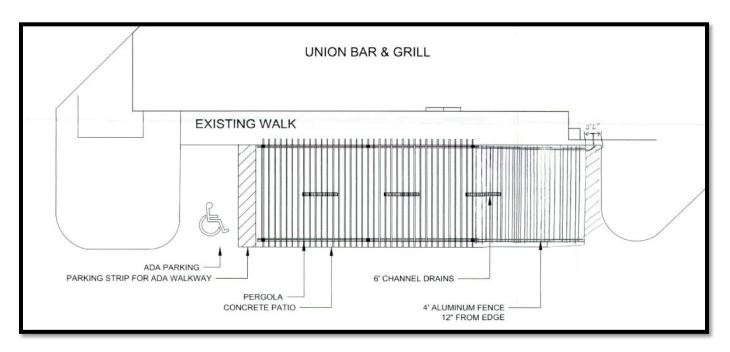


Above: Example of a wood pergola similar to one over proposed patio.

permanent 4.5-foot-high open-style aluminum fence will surround the patio area on the north, west, and south sides. The fence will be set it a minimum of 1 foot from the curb to avoid any conflict with vehicles. The patio will be open to the east side that is adjacent to the building's main entrance/exit.

A freestanding pergola is proposed over a portion of the patio that will create an attractive architectural feature and make for a more inviting atmosphere. The hope with the patio is to give alternative seating options to customers, particularly with a higher demand for outdoor seating due to the pandemic. Additionally, it makes for a more attractive and inviting entrance to a restaurant rather than the existing parking lot.

Open Item #1: Review proposed site plan changes with new patio and pergola additions.



As with most new projects, the site plan is finalized, but the engineering of the site still has some outstanding comments and revisions that will need to be addressed prior to permit approval. These revisions are needed to ensure the proposal is safe and complies with all building and accessibility code requirements. Additionally, it ensures that there is no stormwater ponding or other issues arise due to the grade changes. Staff is recommending that the site plan approval be conditioned upon final engineering and Building Department review and approval.

Open Item #2: Staff is recommending the site plan approval be conditioned upon final engineering and Building Department review and approval.

PARKING

Similar to other recent commercial projects, staff has noted parking is more of an art than a science. There is no standard practice and parking requirements can change over time depending on overall vehicle usage and based upon the specific tenants and business operations. While the parking minimums can act as a guide, they are also relatively outdated and much of the data dates back to 1978. Per the existing code 6.5 spaces are required per 1,000 sq. ft. of leasable floor space for a "Planned Shopping Area"; there is not a delineation in

Junction at 80 th Ave Shopping Center		
	Parking Stall Totals	
Current Code	188	
Required		
Approved Site Plan	162	
Existing	160	
Proposed	155	

that requirement based upon the zoning or size of the site. Staff notes that the subject site is a neighborhood shopping center, which typically has less parking demand compared to larger regional shopping centers.

The most recent site plan approval includes 162 parking stalls. However, 2 stalls in front of the business entrance were recently striped with hash marks so that customers can more easily access the business and not have to walk between vehicles, resulting in 160 stalls existing on the site. The proposed patio results in a total of 155 parking stalls. The shopping center has approximately 29,000 sq. ft. of commercial space and thus requires ~188 parking stalls based on the zoning codes requirement of 6.5 spaces per 1,000 sq. ft. The existing site is nonsufficient and can remain but due to the proposed reduction of parking spaces due to the patio, a Variation is required for the site to be 33 spaces below the minimum required.

Parking estimates for multi-tenant properties are made even more difficult to predict due to tenant-specific demand and changes in the tenancy over time. As with other commercial properties, the property owners have an incentive to manage the tenancy and ensure an adequate supply of parking spaces. Having too few is likely to affect the tenants, marketability, lease rates, and ultimately total profit on a site. Having too much parking can also have economic and ecological costs.

The Variation request has the advantage of proposing the reduction on an existing site, which data can be gathered in regards to the need for the parking reduction. Professional parking counts were not conducted due to the reduction being relatively small and the abnormal COVID conditions. However, the Petitioner did conduct a count of the parking lot on Friday and Saturday evenings during dinner (6-7pm) and found 74-80 total parking stalls available during those peak times. While staff did not conduct parking counts, they have visited the site during weekday day and evening hours and witnessed a plethora of parking availability. While there are three vacancies in the center that may add additional demand, the available spaces are smaller and not expected to cause any large increase in parking demand. Additionally, while it appears unlikely, if parking issues ever occurred within the center, overflow parking will likely happen in the Metra train station parking lot that is open to the public after 10:30am and is located directly to the south of the property.

Open Item #3: Discuss and review the requested parking Variation for the overall shopping center.

LIGHTING, LANDSCAPING, ARCHITECTURE, AND SIGNAGE

The patio area will have sufficient light supplied from the building's soffit and the parking lot lighting. Beyond the patio area, the site will not change with regards to existing lighting, landscaping, building architecture, or signage. Parking lot lights were replaced within the last two years to LED light fixtures.

SUMMARY OF OPEN ITEMS

Staff identified the following open items for discussion at the workshop:

- 1. Review proposed site plan changes with new patio and pergola additions.
- 2. Staff is recommending the site plan approval be conditioned upon final engineering and Building Department review and approval.
- 3. Discuss and review the requested parking Variation for the overall shopping center.

STANDARDS FOR A VARIATION

Section X.G.4. of the Zoning Ordinance states the Plan Commission shall not recommend a Variation of the regulations of the Zoning Ordinance unless it shall have made Findings of Fact, based upon the evidence presented for each of the Standards for Variations listed below. The Plan Commission must provide findings for the first three standards; the remaining standards are provided to help the Plan Commission further analyze the request. Staff has prepared the draft responses for the Findings of Fact for adoption by the Commission below.

- 1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.
 - A reduction in 7 spaces assists in the prolonged occupancy and success of the center. The reduction
 of unused parking spaces is a more efficient and economical use of the land.
- 2. The plight of the owner is due to unique circumstances.
 - The Petitioner has a unique property and tenant mix that provides a unique treatment in regards to parking. A reduction in 7 spaces assists in the prolonged occupancy and success of the center.
- 3. The Variation, if granted, will not alter the essential character of the locality.
 - The property owner will need to manage parking demand as all multi-tenant commercial centers
 do. If additional parking is ever needed, there is an available parking at the train station
 commuter lot to the south and parking is unlikely to occur in any neighboring properties or
 residential areas.
- 4. Additionally, the Plan Commission shall also, in making its determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the Petitioner have been established by the evidence:
 - a. The particular physical surroundings, shape, or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out;
 - b. The conditions upon which the petition for a Variation is based would not be applicable, generally, to other property within the same zoning classification;
 - c. The purpose of the Variation is not based exclusively upon a desire to make more money out of the property;
 - d. The alleged difficulty or hardship has not been created by the owner of the property, or by a previous owner;
 - e. The granting of the Variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; and
 - f. The proposed Variation will not impair an adequate supply of light and air to an adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

STANDARDS FOR SITE PLAN APPROVAL

Section III.T.2. of the Zoning Ordinance requires that the conditions listed below must be met and reviewed for Site Plan approval. Specific findings are not required but all standards shall be considered to have been met upon review from the Plan Commission. Architectural Standards were not included since there is no proposed changes to the structure.

Site Design

- a. Building/parking location: Buildings shall be located in a position of prominence with parking located to the rear or side of the main structure when possible. Parking areas shall be designed so as to provide continuous circulation avoiding dead-end parking aisles. Drive-through facilities shall be located to the rear or side of the structure and not dominate the aesthetics of the building. Architecture for canopies of drive-through areas shall be consistent with the architecture of the main structure.
- b. Loading Areas: Loading docks shall be located at the rear or side of buildings whenever possible and screened from view from public rights-of-way.
- c. Outdoor Storage: Outdoor storage areas shall be located at the rear of the site in accordance with Section III.O.1. (Open Storage). No open storage is allowed in front or corner side yards and are not permitted to occupy areas designated for parking, driveways or walkways.
- d. Interior Circulation: Shared parking and cross access easements are encouraged with adjacent properties of similar use. Where possible visitor/employee traffic shall be separate from truck or equipment traffic.
- e. Pedestrian Access: Public and interior sidewalks shall be provided to encourage pedestrian traffic. Bicycle use shall be encouraged by providing dedicated bikeways and parking. Where pedestrians or bicycles must cross vehicle pathways a cross walk shall be provided that is distinguished by a different pavement material or color.

MOTIONS TO CONSIDER

If the Plan Commission wishes to take action on the Petitioner's requests, the appropriate wording of the motions are listed below. The protocol for the writing of a motion is to write it in the affirmative so that a positive or negative recommendation correlates to the Petitioner's proposal. By making a motion, it does not indicate a specific recommendation in support or against the plan.

Motion 1 - Site Plan:

"...make a motion to grant the Petitioner, Joseph Colucci on behalf of Union Bar & Grill, Site Plan Approval to construct an outdoor dining patio at 17821 80th Avenue in the B-1 (Neighborhood Shopping) zoning district, in accordance with the plans submitted and subject to the following conditions:

- 1. The proposed accessible parking stall and access aisle shall be constructed, striped, and signed in accordance with ADA and Illinois Accessibility Code requirements.
- 2. Site Plan Approval is subject to approval of the parking Variation by the Village Board.
- 3. Site Plan Approval is subject to engineering and building department permit review and approval of final plans including any grading or drainage changes."

[any conditions that the Commission would like to add]

Motion 2 - Variation:

"...make a motion to recommend that the Village Board grant a Variation to the Petitioner, Joseph Colucci on behalf of Union Bar & Grill, from Section VIII.A.10. (Number of Parking Spaces Required) of the Zoning Code to permit 155 parking stalls, where a minimum of 188 stalls are required, at the property located at 17821 80th Avenue (The Junction at 80th Avenue Shopping Center) in the B-1 (Neighborhood Shopping) zoning district, in accordance with the plans submitted and adopt Findings of Fact as proposed by Village Staff in the May 27, 2021 Staff Report."

THE VILLAGE OF TINLEY PARK

Cook County, Illinois Will County, Illinois

ORDINANCE NO. 2021-O-033

AN ORDINANCE GRANTING A PARKING VARIATION PROPERTY LOCATED AT 17821 80TH AVENUE (THE JUNCTION SHOPPING CENTER)

MICHAEL W. GLOTZ, PRESIDENT KRISTIN A. THIRION, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park

VILLAGE OF TINLEY PARK

Cook County, Illinois Will County, Illinois

ORDINANCE NO. 2021-O-033

AN ORDINANCE GRANTING A PARKING VARIATION FOR PROPERTY LOCATED AT 17821 80TH AVENUE (THE JUNCTION SHOPPING CENTER)

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, a petition has been filed with the Village Clerk of this Village and has been processed in accordance with the Tinley Park Zoning Ordinance by Joseph Colucci of Union Bar & Grill, to grant a Variation of seven (7) parking spaces where 188 parking spaces are required for the proposed use resulting in a total of 155 parking spaces on site.

WHEREAS, said Plan Commission held a public hearing on the question of whether the Variation should be granted on May 27, 2021 at the Village Hall and by teleconference per Gubernatorial Executive Order 2020-18 and the "Village of Tinley Park Temporary Public Participation Rules & Procedures", at which time all persons were afforded an opportunity to be heard; and

WHEREAS, public notice in the form required by law was given of said public hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said public hearing in the Daily Southtown, a newspaper of general circulation within the Village of Tinley Park; and

WHEREAS, the Plan Commission voted x-0 and has filed its report, findings and recommendations that the proposed Variation be approved with this President and Board of Trustees, and this Board of Trustees has duly considered said report of findings and recommendations; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Variation; and

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

SECTION 2: That the report of findings and recommendations of the Plan Commission are herein incorporated by reference as the findings of this President and the Board of Trustees, as complete as if fully set forth herein at length. This Board finds that the Petitioner has provided evidence establishing that they have met the standards for granting the Variation as set forth in Section X.G.4 of the Zoning Ordinance, and the proposed granting of the Variation as set forth herein is in the public good and in the best interest of the Village and its residents and is consistent with and fosters the purpose and spirit of the Tinley Park Zoning Ordinance.

Section X.G.4. of the Zoning Ordinance states the Plan Commission shall not recommend a Variation of the regulations of the Zoning Ordinance unless it shall have made Findings of Fact, based upon the evidence presented for each of the Standards for Variations listed below. The Plan Commission must provide findings for the first three standards.

- 1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.

 A reduction in 7 spaces assists in the prolonged occupancy and success of the center.

 The reduction of unused parking spaces is a more efficient and economical use of the land.
- 2. The plight of the owner is due to unique circumstances.

 There is a unique property and tenant mix that provides a unique treatment in regards to parking. A reduction in 7 spaces assists in the prolonged occupancy and success of the center.
- 3. The Variation, if granted, will not alter the essential character of the locality. The property owner will need to manage parking demand as all multi-tenant commercial centers do. If additional parking is ever needed, there is an available parking at the train station commuter lot to the south and parking is unlikely to occur in any neighboring properties or residential areas.

SECTION 3: That the Variation as set forth herein below shall be applicable to the following described property

LEGAL DESCRIPTION: LOTS 1 IN TINLEY CORNERS SUBDIVISION, BEING A RESUBDIVISION OF PART OF THE NORTHWEST ¼ OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPLE MERIDIAN, IN COOK COUNTY, ILLINOIS ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 15, 1997 AS DOCUMENT NUMBER 97-764876.

PARCEL IDENTIFICATION NUMBER: 27-36-121-031-0000

PASSED THIS 1st day of June 2021

COMMONLY KNOWN AS: 17821 80th Avenue, Tinley Park, Illinois

SECTION 4: That a Variation of seven (7) parking spaces is hereby granted to the Petitioner at the above-mentioned property in the B-1 (Neighborhood Shopping) Zoning District in accordance with plans presented with the May 27, 2021 Staff Report.

SECTION 5: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

SECTION 6: That this Ordinance shall be in full force and effect from and after its adoption and approval.

SECTION 7: That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

1112222 11112 1 wwj 010 witt, 2021.	
AYES:	
NAYS:	
ABSENT:	
APPROVED THIS 1st day of June, 2021.	
ATTEST:	VILLAGE PRESIDENT
VILLAGE CLERK	

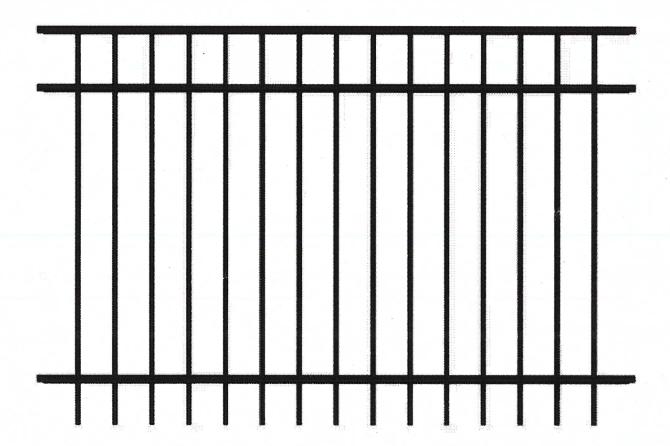
STATE OF ILLINOIS)	
COUNTY OF COOK)	SS
COUNTY OF WILL)	

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2021-O-033, "AN ORDINANCE GRANTING A PARKING VARIATION FOR PROPERTY LOCATED AT 17821 80TH AVENUE (THE JUNCTION SHOPPING CENTER)." which was adopted by the President and Board of Trustees of the Village of Tinley Park on JUNE 01, 2021.

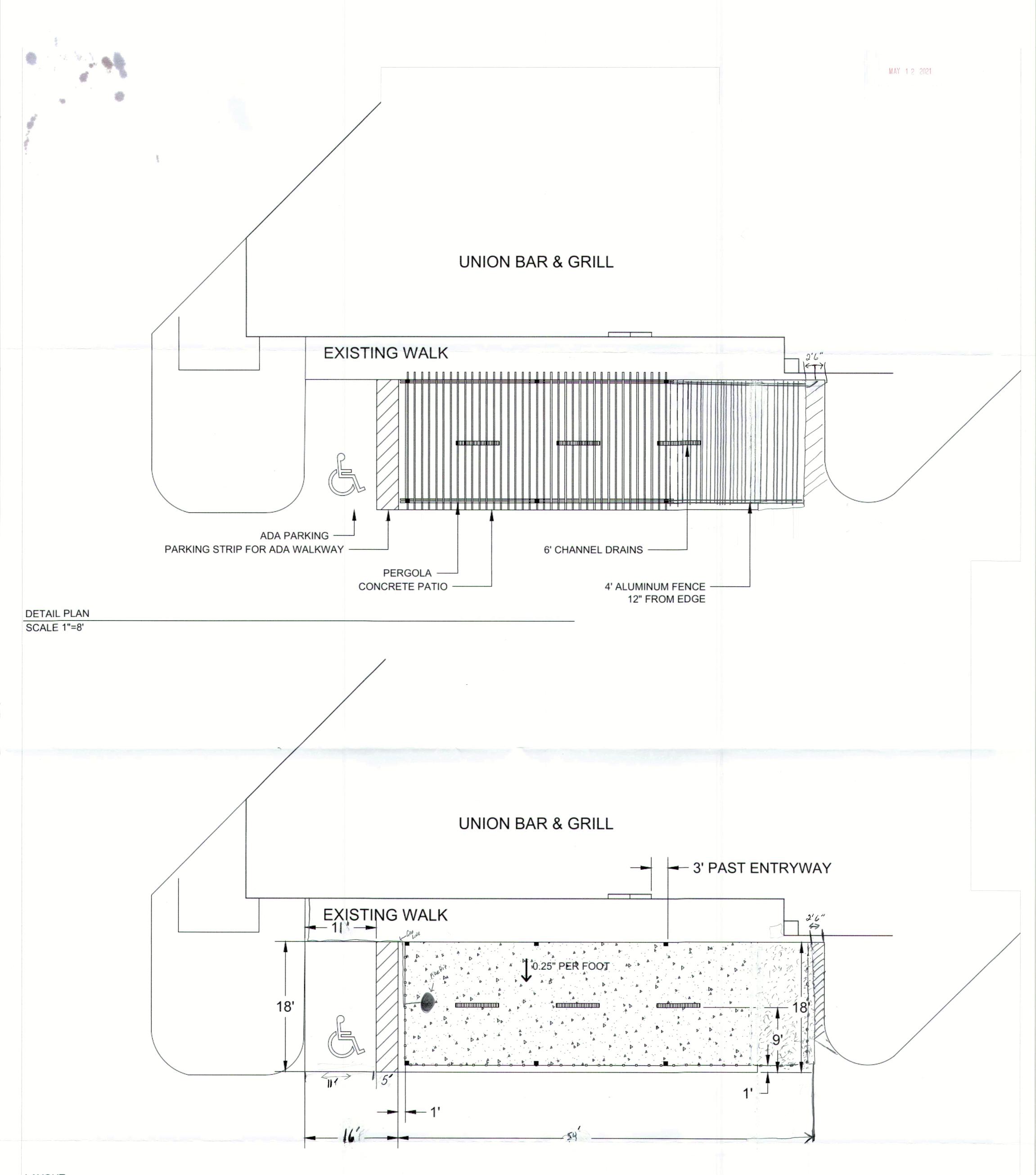
IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of June, 2021.

KRISTIN A. THIRION, VILLAGE CLERK



4' 6" Aluminum fance
by ifence

MAY 1 2 2021

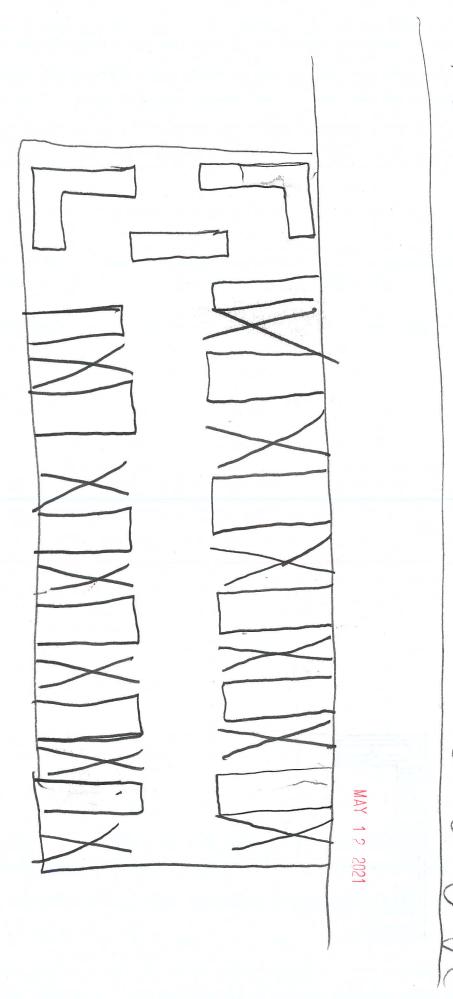


LAYOUT

SCALE 1"=8'

UNION BAR & GRILL PATIO LAYOUT

17821 80TH AVE. TINLEY PARK, IL





Date: May 25, 2021

To: David Niemeyer – Village Manager

John Urbanski - Public Works Director

From: Colby Zemaitis, PE, CFM – Assistant Public Works Director

Subject: FY2022 PMP Resurfacing Program – Contract Award Recommendation

Presented at the Committee of the Whole and Village Board Meetings for consideration and possible action:

<u>Description:</u> The project entails approximately 4.8 miles of pavement improvements which include street resurfacing by heater scarification, HMA surface removal and replacement, pavement patching, miscellaneous concrete repairs, sidewalk repairs, structure adjustments, pavement striping and other miscellaneous improvements in order to complete the project. Based on the low bid amount and project budget, additional street improvements will be evaluated and potentially added to the project.

Six (6) bids were received and publicly read on May 20, 2021. The bid results are below and the bid tab is attached. The lowest, responsible bidder was Iroquois Paving Corporation in the amount of \$2,287,256.64.

<u>Location</u>	<u>Bid Total</u>
Watseka, IL	\$2,287,256.64
Thornton, IL	\$2,488,286.74
Elwood, IL	\$2,579,501.59
Coal City, IL	\$2,635,677.21
Bensenville, IL	\$2,695,402.67
Joliet, IL	\$2,884,873.43
	\$2,287,256.64
	\$2,500,000.00
	\$212,743.36
	Watseka, IL Thornton, IL Elwood, IL Coal City, IL Bensenville, IL

Upon approval of the Village Board, the Contract Books will be submitted to Iroquois Paving Corporation for the required signatures and insurance documents. Robinson Engineering will then review those documents and when all the necessary items are addressed, they will then send the final Contract Books to IDOT for final signatures.

Staff Direction Request:

- 1. Award project to Iroquois Paving Corporation in the amount of \$2,287,256.64 and direct to Village Board for approval.
- 2. Direct Staff as necessary.

Attachments:

- 1. 2021 Bid Tab.
- 2. REL Contract Award Recommendation Letter.



THE VILLAGE OF TINLEY PARK

Cook County, Illinois Will County, Illinois

RESOLUTION NO. 2021-R-043

A RESOLUTION APPROVING A CONTRACT WITH IROQUOIS PAVING CORPORATION, FOR THE FY2022 PAVEMENT MANAGEMENT PROGRAM (PMP) RESURFACING PROGRAM

MICHAEL W. GLOTZ, PRESIDENT KRISTIN A. THIRION, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park

RESOLUTION NO. 2021-R-043

A RESOLUTION APPROVING A CONTRACT WITH IROQUOIS PAVING CORPORATION, FOR THE FY2022 PAVEMENT MANAGEMENT PROGRAM (PMP) RESURFACING PROGRAM

WHEREAS, the Village of Tinley Park, Cook and Will Counties, Illinois, is a Home Rule Unit pursuant to the Illinois Constitution of 1970; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have considered entering into a Contract with Iroquois Paving Corporation, a true and correct copy of such Contract being attached hereto and made a part hereof as **EXHIBIT 1**; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interests of said Village of Tinley Park that said Contract be entered into by the Village of Tinley Park;

NOW, THEREFORE, Be It Resolved by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, as follows:

Section 1: The Preambles hereto are hereby made a part of, and operative provisions of, this Resolution as fully as if completely repeated at length herein.

Section 2: That this President and Board of Trustees of the Village of Tinley Park hereby find that it is in the best interests of the Village of Tinley Park and its residents that the aforesaid "Contract" be entered into and executed by said Village of Tinley Park, with said Contract Extension to be substantially in the form attached hereto and made a part hereof as **EXHIBIT 1**, subject to review and revision as to form by the Village Attorney.

<u>Section 3</u>: That the President and Clerk of the Village of Tinley Park, Cook and Will Counties, Illinois are hereby authorized to execute for and on behalf of said Village of Tinley Park the aforesaid Contract.

Section 4: That this Resolution shall take effect from and after its adoption and approval.

ADOPTED this 1st day of June, 2021, by the Corporate Authorities of the Village of Tinley Park on a roll call vote as follows:

a roll call vote as follows:	
AYES:	
NAYS:	
ABSENT:	
APPROVED this 1st day of June, 2021, by th	e President of the Village of Tinley Park.
A TOTAL OF	Village President
ATTEST:	

Village Clerk

EXHIBIT 1

STATE OF ILLINOIS)	
COUNTY OF COOK)	SS
COUNTY OF WILL)	

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2021-R-043, "A RESOLUTION APPROVING A CONTRACT WITH IROQUOIS PAVING CORPORATION, FOR THE FY2022 PAVEMENT MANAGEMENT PROGRAM (PMP) RESURFACING PROGRAM," which was adopted by the President and Board of Trustees of the Village of Tinley Park on June 1, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of June, 2021.

KRISTIN A. THIRION, VILLAGE CLERK



Date: May 24, 2021

To: David Niemeyer – Village Manager

John Urbanski – Public Works Director

From: Colby Zemaitis, PE, CFM – Assistant Public Works Director

Subject: Pavement Striping Program – Contract Extension (Final)

Prepared for Committee of the Whole and Village Board Meeting for consideration and possible action:

<u>Description:</u> The Public Works Department, in its role of maintaining our Village-owned streets utilized the pavement striping services of Traffic Control Company the last two years to clean and restripe a number of selected streets throughout the Village. Their services total approximately 8.5 miles of roadway striping throughout the Village.

<u>Background:</u> The service contract was advertised and bid in accordance with State bidding laws and provided the Village the potential of extending the contract for two (2) additional years at an overall 1.25% increase identified by the Contractor should their services be found acceptable by the Village. Last two year's services by Traffic Control Company were found to be acceptable and their previous services for the Village find them to be a credible, trustworthy Contractor.

Bids were opened on June 4, 2019. Traffic Control Company was the low bidder in the amount of \$58,483.50. The contract total is \$59,954.73 for 2021. Due to the low bid, we would like to request the Board's approval to once again increase the originally bid quantity and overall cost of the project to \$90,000 to match the total approved FY22 Budget.

Budget/Finance: Funding requested to be budgeted for FY22 is currently \$90,000.

Staff Direction Request:

- 1. Approve Contract Extension with Traffic Control Company for the Pavement Striping Program in the amount of \$90,000 and direct to Village Board for approval.
- 2. Direct Staff as necessary.

Attachments:

1. 2019 Bid Tab



THE VILLAGE OF TINLEY PARK

Cook County, Illinois Will County, Illinois

RESOLUTION NO. 2021-R-044

A RESOLUTION APPROVING A CONTRACT WITH TRAFFIC CONTROL COMPANY FOR THE PAVEMENT STRIPING PROGRAM - FINAL CONTRACT EXTENSION

MICHAEL W. GLOTZ, PRESIDENT KRISTIN A. THIRION, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park

RESOLUTION NO. 2021-R-044

A RESOLUTION APPROVING A CONTRACT WITH TRAFFIC CONTROL COMPANY FOR THE PAVEMENT STRIPING PROGRAM - FINAL CONTRACT EXTENSION

WHEREAS, the Village of Tinley Park, Cook and Will Counties, Illinois, is a Home Rule Unit pursuant to the Illinois Constitution of 1970; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have considered entering into a Contract with Traffic Control Company, a true and correct copy of such Contract being attached hereto and made a part hereof as **EXHIBIT 1**; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interests of said Village of Tinley Park that said Contract be entered into by the Village of Tinley Park;

NOW, THEREFORE, Be It Resolved by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, as follows:

Section 1: The Preambles hereto are hereby made a part of, and operative provisions of, this Resolution as fully as if completely repeated at length herein.

Section 2: That this President and Board of Trustees of the Village of Tinley Park hereby find that it is in the best interests of the Village of Tinley Park and its residents that the aforesaid "Contract" be entered into and executed by said Village of Tinley Park, with said Contract Extension to be substantially in the form attached hereto and made a part hereof as **EXHIBIT 1**, subject to review and revision as to form by the Village Attorney.

Section 3: That the President and Clerk of the Village of Tinley Park, Cook and Will Counties, Illinois are hereby authorized to execute for and on behalf of said Village of Tinley Park the aforesaid Contract.

Section 4: That this Resolution shall take effect from and after its adoption and approval.

ADOPTED this 1st day of June, 2021, by the Corporate Authorities of the Village of Tinley Park on a roll call vote as follows:

a roll call vote as follows:	
AYES:	
NAYS:	
ABSENT:	
APPROVED this 1st day of June, 2021, by the	ne President of the Village of Tinley Park.
ATTEGT	Village President
ATTEST:	

Village Clerk

EXHIBIT 1

STATE OF ILLINOIS)	
COUNTY OF COOK)	SS
COUNTY OF WILL)	

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2021-R-044, "A RESOLUTION APPROVING A CONTRACT WITH TRAFFIC CONTROL COMPANY FOR THE PAVEMENT STRIPING PROGRAM - FINAL CONTRACT EXTENSION," which was adopted by the President and Board of Trustees of the Village of Tinley Park on June 1, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of June, 2021.

KRISTIN A. THIRION, VILLAGE CLERK



PLAN COMMISSION STAFF REPORT

May 27, 2021 - Public Hearing

Petitioner

Christopher Ilekis, on behalf of 17118 S Harlem Tinley Park LLC (d/b/a Vequity) (Contract Purchaser)

Property Location

17120-26 Harlem Ave (New Building)

17100 Harlem Ave (7-11)

PIN

27-25-403-013-0000, 27-25-403-014-0000, 27-25-403-015-0000 & 27-25-403-016-0000

Zoning

Existing: R-1 (Single-Family Residential)

Proposed: B-1 PD (Neighborhood Commercial, Planned Unit Development)

Approvals Sought

- Site Plan/ Architecture
- Rezoning
- Special Use for a PUD w/ Exceptions
- Final Plat Approval

Project Planner

Daniel Ritter, AICP Senior Planner

Vequity/Starbucks New Multi-Tenant Building

17120 - 17126 Harlem Avenue



EXECUTIVE SUMMARY

The Petitioner, Christopher Ilekis, on behalf of 17118 S Harlem Tinley Park LLC (d/b/a Vequity) (Contract Purchaser), is seeking approval to construct a 7,422 sq. ft. multi-tenant-tenant commercial building with a Starbucks drive-thru at 17120-17126 Harlem Avenue. The project requires the Rezoning of the property to the B-1 (Neighborhood Shopping) zoning district, Site Plan/Architecture Approval, and Final Plat Approval. Additionally, a Special Use for a Planned Unit Development(PUD) with Exceptions is requested over both the new development and the 7-Eleven project immediately adjacent to the north which is currently under construction by the same developer. The PUD allows for a drive-thru use to be permitted as well as a cohesive development pattern, shared access, and shared signage between the developments.

The subject site area on the west side of Harlem Ave was originally developed in the county with single-family homes for the full block. Starting in the 1980s the area began to transition from residential to commercial uses; the Comprehensive Plan designates the area as a "commercial/office" use. As the homes have been demolished and new commercial buildings constructed, the properties have been rezoned to low-intensity districts like B-1 (Neighborhood Shopping) or B-4 (Office and Service) due to their proximity to single-family residential homes. The conversion of this area to commercial uses is nearly complete. The Petitioner has added fencing and landscaping to buffer noise or light from the development. The lighting plan was designed so that no light spillage occurs and no light glare will be visible to the residences to the west. Additionally, the Petitioner has noted that the speaker system on the drive-thru ordering system has a low volume and the fencing and landscaping proposed have further been designed to limit any off-site noise (closest home is ~180 ft. from the speaker).

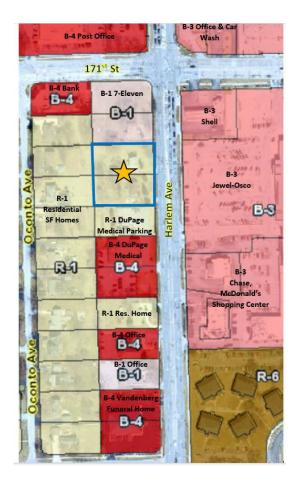
EXISTING SITE & ZONING

The subject property consists of two interior lots on the western side of Harlem Avenue The subject property is just south of 171st Street and the 7-Eleven gas station and convenience store development currently under construction by the same developer at 17100 Harlem Ave. The subject property lots are zoned R-1 (Single-Family Residential) indicated by the yellow star below. Both lots previously had vacant single-family homes on them. The homes were blighted and in violation of multiple property maintenance codes. The demolition of the homes was part of the 7-Eleven project approval and took place in 2020 leaving only one residential home on the block.

The west side of Harlem Ave was originally developed with single-family homes in the 1950s-1960s. Starting in the 1980s this area began to transition from residential to commercial uses due to their frontage along the heavily traveled commercial corridor and the development of the Jewel-Osco shopping center on the east side of Harlem Avenue. Due to the multiple curb cuts and difficulty of access from an arterial roadway, residential uses are not considered the highest and best use for this area. The expectation in the transition of this area is supported by the commercial/office use designation in the Village's Comprehensive Plan. As the lots have been redeveloped with commercial buildings, the properties have been rezoned to lower-intensity zoning districts like B-1 (Neighborhood Shopping) and B-4 (Office and Service Business), due to the proximity of single-family residential homes to the west.

To the north of the subject property is the 7-Eleven property currently under construction and zoned B-1. To the east of the property across Harlem Avenue is Jewel-Osco and Tinley Park Commons Shopping Center zoned B-3 (General Business & Commercial). To the west are single-family homes (R-1). To the south is the DuPage Medical Group office zoned B-4, with a portion of the parking lot still zoned R-1.





PROPOSED USE

The proposed building will include a Starbucks Coffee with a drive-thru lane and window. The building is 7,422 sq. ft. in total size, with 7,279 sq. ft. leasable space (excluding mechanical and sprinkler rooms). The Starbucks will use approximately 2,202 sq. ft. of the leasable floor space. They have a high reliance on drive-thru business, particularly during the pandemic, but also will offer dine-in and patio seating at the location. The additional 5,077 sq. ft. of floor space has been designed to be able to accommodate up to three tenants depending on the space needs of the businesses. There is no contract on the other tenant spaces but it will be marketed upon approval to other commercial uses permitted in the B-1 zoning district.

SITE PLAN

The site plan includes the commercial building, vehicle drive-thru parking, lane. walkways, landscaping, and a dumpster enclosure. Due to the size of the parcel there are several bulk regulations that do not meet code and will require an Exception to the PUD and district. underlying zoning These exceptions are the same as those approved for the 7-Eleven development to the north that were treated as Variations.

These include an exception for the lot size of .938 acres instead of the minimum of 4 acres in the B-1 district; a lot width of 205.90 ft. instead of the minimum of 600 ft.; a lot depth of 198.52 instead of the



minimum of 250 ft.; and a front yard setback of 81 ft. instead of the minimum of 125 ft. The exceptions are basically a result of the original platting of the area that did not contemplate the commercial uses that are now being developed in this area.

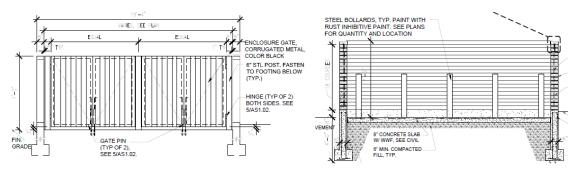
Access to the site will primarily be through a curb cut on Harlem Avenue at the south end of the parcel. However, cross-access is provided between the 7-Eleven site to the north and the bank (7231 171st St) along 171st Street. Cross-access has also been planned to the south so that a future connection can potentially be made to the DuPage Medical property.

The new access point on Harlem Avenue is limited to right-in/right-out turns. A raised "pork chop" and directional signage have been proposed to ensure left turns are not made. The geometrics of the access has been altered slightly to allow for safe delivery truck and fire engine circulation through the site. Two-way drive aisles meet the required 26 ft. width minimum. The drive-thru lane is proposed at 23 ft. wide and includes the stacking lane and an "escape" lane.

The site generally circulates in a counter-clockwise fashion with order taking on the west side of the building and then order pickup on the south side of the building. The dedicated drive-thru lane includes stacking for up to 11 vehicles. A *Parking and Traffic Analysis* from their traffic consultant, KLOA, has been submitted outlining the expected demand. The report concluded adequate parking and drive-thru stacking is present in the proposed plan. Any drive-thru stacking beyond the drive-thru lane will happen on-site and not in any public roadways or shared drive aisles.

A public sidewalk is proposed as part of the development in compliance with the Village's Subdivision and Development Regulations. The sidewalk will connect to the 7-Eleven development's sidewalk. A private walkway will connect the stores to the public sidewalk that allows for better pedestrian connectivity and accessibility.

A new trash enclosure has been proposed at the northwest corner of the site and sized proportionately for Starbucks and up to three other commercial tenants. The enclosure will be constructed with exterior brick that matches the existing building façade texture and color.

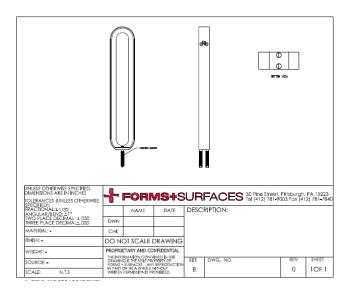


An outdoor patio will be constructed near the entrance of the Starbucks. A 2-3 ft. high brick knee wall will be constructed around two sides of the patio area to protect patrons from vehicles.

Open Item #1: Review overall proposed Site Plan, layout, site circulation, and drive-thru stacking and the Exceptions required to approve the Site Plan.

The Plan Commission overall like the proposed layout. It was recommended that the Petitioner revise based on the Engineer's review comments to the traffic analysis, including the addition of a stop sign. Additionally, it was recommended that a bike be located on the site for customers and employees. Plans and the traffic analysis were revised to address all of these comments.

As with most new developments, the site plan is finalized, but the engineering of the site still has some outstanding comments and revisions that will need to be addressed prior to permit submittal. Staff is recommending that the site plan approval be conditioned upon final engineering review and approval.

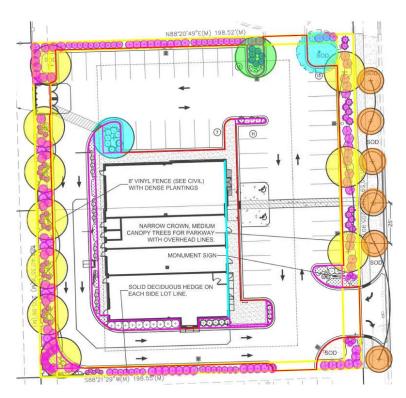


Open Item #2: Staff is recommending the site plan approval be conditioned upon final engineering review and approval.

A recommended condition has been added to the Site Plan and Final Plat approvals.

LANDSCAPE ARCHITECTURE

The proposed Landscape Plan has been reviewed by the Village's Landscape Architect and finds it to be in general conformance with the Village's Landscape Ordinance with a few exceptions due to the site's constraints. The proposal requests a from a few of the bufferyard requirements, parkway tree requirements, and interior landscaping requirements. The Petitioner has indicated that they have worked to meet the landscape requirements to the greatest extent possible and focused on making their available bufferyard width and landscaping adequate to buffer views from the residential properties to the west. The requirements of the landscape code are largely designed for new development "green" sites and are more difficult to meet on redevelopment or infill development due to limited site dimensions. When the requirements cannot be met, waivers can be requested, but the goal is to meet the intent of the requirements and create an attractively landscaped site. The total



analysis and deficiencies are outlined in the table below.

Landscape Review Table A

Please review the landscape requirements within the following tables on the next page. Deficiencies must be addressed in a revised Landscape Plan. Please note the following abbreviations: CT = Canopy Tree, US = Understory Tree, SH = Shrub, T = Tree.

BUFFERYARD REQUIREMENTS							
Bufferyard Location	Required Width	Proposed Width	Length	Required Plantings	Proposed Plantings	Deficit	Comments
North ("B" Bufferyard)	5′	5′	179′	8 CT 3 US 36 SH	0 CT 0 US 36 SH	-8 CT -3 US	Overlap of east and west proposed bufferyards excluded.
East ("C" Bufferyard)	10′	10′	206′	11 CT 5 US 42 SH	3 CT 0 US 39 SH	-8 CT -5 US -3 SH	
South ("B" Bufferyard)	5′	5′	179″	8 CT 3 US 36 SH	0 CT 0 US 36 SH	-8 CT -3 US	Overlap of east and west proposed bufferyards excluded.
West ("D" Bufferyard)	30′	10′	206′	7 CT 4 US 29 SH	7 CT 0 US 67 SH	-4 US +38 SH	Required plantings reduced by 50% due to proposed fencing. Bufferyard calculations utilize 30' wide requirements.

INTERIOR LOT LANDSCAPING REQUIREMENTS					
Location	Requirement	Proposed	Deficit	Comments	
Foundation	Landscape coverage along 70% of building foundation that faces public right-of-way; 10' wide landscaped area	0% (lineal feet)	100% (67 lineal feet)	Total lineal feet of foundation fronting Harlem Ave. = 95'	
Interior	4 canopy trees	2	-2 CT	40,873 s.f. of lot area (Audit includes 1 existing tree to remain)	

PARKWAY STANDARDS					
Location	Requirement	Required Trees	Proposed Trees	Deficit	Comments
Parkway	1 Tree per 25 Lineal Feet	7	6	-1	Final plans to ensure low mature height trees to not conflict with existing power lines.

PARKING LOT LANDSCAPING STANDARDS					
Location	Requirement	Provided	Deficit	Comments	
Parking Lot	15% of parking lot area to be landscaped or 3,291 square feet	1,680 square feet	-1,611 square feet	21,945 s.f. of parking lot shown on landscape plan	
Parking Lot	Screening of adjacent properties and streets.	Continuous screening not provided.	-	Bufferyard plantings counted towards continuous screening requirements.	
Parking Lot Islands	1 CT and 1 SH per 200 square feet (2 CT and 2 SH required)	1 CT 7 SH	-1 CT +5 SH	NE island = 169 s.f.	

Two staff recommendations were utilized in the revised plan including the use of evergreen/spruce along the western buffer to allow for year-round screening of the development from the residents to the west. These trees provide for a better visual and noise buffer between commercial and residential properties. Additionally, trees throughout the site have been "upsized" from the minimum requirements to ensure quicker establishment and growth. The evergreen/spruce trees will be planted at an 8-foot height which will allow for quick maturity and additional screening.

A fence is proposed along the west property line; it will match the fence installed with the 7-Eleven and bank developments. The fence is an eight-foot-high beige PVC fence. This will create a cohesive look along the property line between the commercial and residential developments. PVC fencing has also been preferred between most commercial developments as they require less maintenance to keep a high-quality appearance.

Staff has recognized the difficulty in meeting the Landscape Ordinance requirements for smaller "infill" sites. The Petitioner has met the majority of the Landscape Ordinance, yet these few deficiencies remain due to site constraints. The proposed landscaping is similar to or exceeds the quality of landscaping on surrounding area properties and along Harlem Avenue. The proposed plan provides a plethora of screening (natural and fencing) along the west property line to help buffer views and noise from the residential homes the property adjoins.

Open Item #3: Discuss the proposed landscape plan and requested Landscape Ordinance waivers.

Plan Commission did not have concerns about the proposed plan. It was largely understood the waivers are due to the limited development area. It was also preferred to see a focus on the western bufferyard having hearty year-round plantings that will help buffer views of the development from the residents.

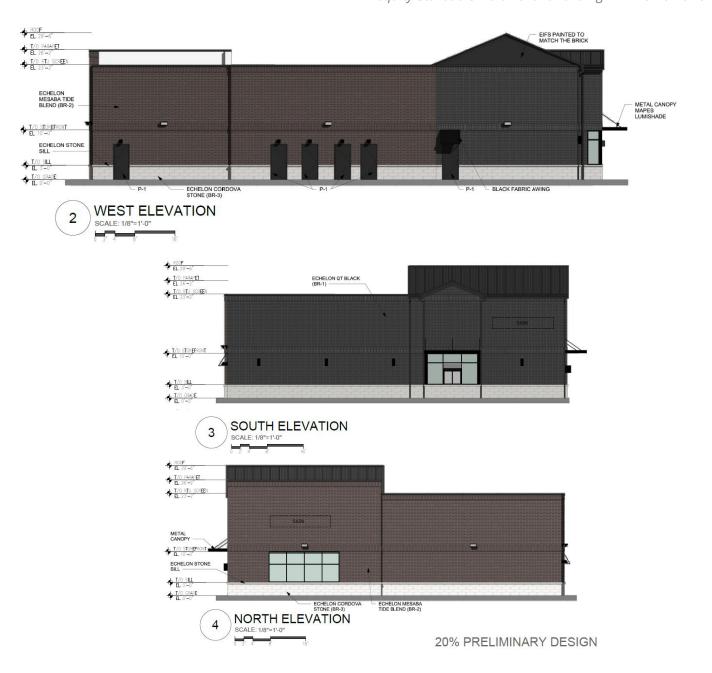
ARCHITECTURE

The design of the building utilizes high-quality materials, including face brick and a stone base. All mechanical equipment will be screened by the rooftop parapet. The majority of the face brick will be a shade of brown/espresso with the Starbucks portion of the building being a black/gray color brick. The use of different color brick and a different roofline is atypical for one tenant on strip center/outlet properties. However, the Petitioner wishes to differentiate that tenant space since the drive-thru component is likely to mean that it will be an anchor tenant in the future. The front façade does have a small ~6-inch offset to help transition between the different brick colors on the front facade. The proposed structure will have metal architectural canopies on the front façade over windows and doors. The dumpster enclosure is also proposed to match the building's brick material in color and style.

Open Item #4: Review the proposed architectural design, brick color, rooflines, and materials used throughout the development.

Plan Commission was largely supportive in regards to the developments overall appearance.





SIGNAGE

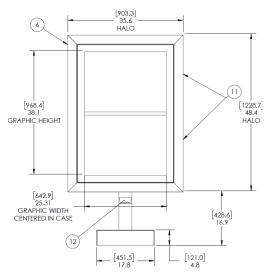
A new monument sign is proposed that will have space for up to five tenants. One of these tenants will be 7-Eleven who will also be dedicating a space on their ground sign for Starbucks. The shared signage between the properties is useful because they will have shared access/entrances and are part of the same PUD. An Exception covered under the PUD allows for this offsite signage for businesses within the same PUD. The new proposed ground sign complies with the size (10 ft.), height, and design requirements of the zoning code and PUD sign regulations. The brick base will match in color to the brick used on the Starbucks portion of the building.

No wall, directional, or drive-thru signage has been proposed at this time. Typically, staff requests to review these signs for any known tenants as part of a new proposal. Specifically, staff has noted that no preview menu board, which is typical of Starbucks,



is permitted (code only allows one sign accessory to a drive-thru use). The Petitioner has noted that all other signage except for the primary ground sign will be the responsibility of the tenants. They have noted it is understood by both them and Starbucks that any signage that isn't in compliance with the existing codes may require a separate review and public hearing process to receive approval.

A pre-menu board is proposed and an example of similar drive-thru signs were submitted. To assist the developer and tenant, staff has provided some additional flexibility within the PUD to allow for a second menu board sign up to 15 sq. ft. in sign area and 7 feet in height. This is similar to the size permitted for other drive-thru food establishments like McDonald, Wendy's Burger King, and Do-Rite Donuts. This has been added to the list of Exceptions to the code.



7-Eleven Site

As part of the interconnection of the two sites, the Petitioner has requested to modify the approved sign. In addition to allowing offsite signage within the PUD, an Exception is also requested for an additional one foot in height, for a total of 11 ft. height on the sign. This will allow for the sign to have space for one tenant on the new development in addition to the signage required for the gas station and convenience store. The gas station signage is unique in that is provides changing gas prices. The sign will be the most visible sign at the main intersection near both developments. Due to the increased height the sign also increases to 128 sq. ft. which exceeds the 120 sq. ft. maximum size. The sign will otherwise remain the same general design as originally proposed and meet other zoning code requirements.



Masonry and landscaping to be provide by others

Open Item #5: Review the proposed signage and the Exceptions required for the additional one-foot height and size of the ground sign at the intersection of 171st St & Harlem Ave.

PARKING

The petitioner has 7,279 sq. ft. of leasable commercial floor space. With the requirement of 6.5 spaces per 1,000 sq. ft. for planned commercial centers, this requires a total of 47 stalls on the site. A total of 44 parking stalls have been provided on the site resulting in a shortage of three stalls and thereby requiring an Exception as part of the PUD. A *Parking and Traffic Analysis* from their traffic consultant KLOA has been supplied outlining the expected traffic demand and concluding there is adequate parking and drive-thru stacking present in the proposed plan.

Parking for multi-tenant properties is sometimes difficult to predict due to unknown tenant-specific demand and changes in the tenancy over time. Parking requirements, which are already an imperfect science are thus even more difficult to determine. The property owners will have the ability to manage the tenancy to ensure an adequate supply of parking spaces.

Open Item #6: Review the proposed parking and the requested exception to reduce parking requirements by a total of three stalls.

The request for fewer stalls is relatively minor and the belief is that the developer, who ultimately has to manage the tenant's parking demand, has experience with this type of multi-tenant development.

LIGHTING

A new lighting ordinance was recently adopted in September 2019. The lighting plan for the proposed development complies with the new lighting standards with respect to fixture type, illumination intensity, and light intensity at the property lines.

The Petitioner has provided a Photometric Plan that provides lighting via six LED light poles and five LED wall mount fixtures throughout the site. The Photometric Plan indicates light spillage of less than one-foot candle at the roadway and zero at the western property line, which is adjacent to residential uses. All light fixtures are full cutoff and downcast to prevent glare on adjacent properties and roadways. Particular thought was put into the light placement and height (20' pole height) to avoid their visibility from the residential properties to the west.

Open Item #7: Discuss the overall light plan and light fixture placement.

ZONING (MAP AMENDMENT, SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT WITH EXCEPTIONS)

The Petitioner has requested a rezoning from R-1 (Single Family Residential) to B-1 (Neighborhood Commercial) with a Special Use for a Planned Unit Development (PUD). The area along the west side of Harlem Avenue is in transition from residential to commercial uses. The property's adjacency to one of the Village's major commercial corridors (Harlem Avenue) and B-3 (General Business and Commercial) zoning district with the Jewel/Osco center to the east has influenced this transition. Additionally, the Village's Comprehensive Plan identifies this property as a "commercial/office" use. The demolition of blighted residential structures has provided the opportunity to develop new quality commercial uses that are designed to minimize potential impact on residential uses to the west. Per staff recommendation, the Petitioner is seeking a PUD with the underlying B-1 zoning district that will include the recently approved 7-Eleven parcel to the north.

Village code requires a minimum of 5 acres for a Planned unit Development (PUD); the proposed PUD is 1.89 acres. Planned Unit Developments are intended to encourage the most imaginative and best possible design of building forms and site planning for tracts of land where a unitary plan would best adapt to the natural and physical characteristics of the site. Under this procedure, well planned residential, commercial, industrial, and other types of land use, individually or in combination, may be developed with complete design flexibility. Planned Unit Developments are of such a size and character that they may create their own environment. The establishment of a minimum size addresses the need to create a distinct environment as in some of the Village's larger PUDs like Brookside Marketplace. While this area does not meet the minimum size requirement, the prominence of the corner, the consistency of design and landscape, the cross-access easements and the request to provide comprehensive signage on each parcel, supports Staff's recommendation to develop the two sites under a common Planned Unit Development.

The proposed underlying B-1 zoning district is often located adjacent to single-family residential development and is among the most restrictive commercial zoning, limiting high-intensity and other objectionable uses (loud noise, smells, tobacco sales, etc.) While restaurants are a permitted use in a B-1 district, drive-thus are not. The petitioner has identified the Starbucks as the tenant and the drive thru is a critical component of their business. Additionally, a

few other uses have been requested as permitted uses, which are not included in the B-1 district. A full list of additional uses requested by the Petitioner is listed below:

- Only one (1) drive thru facility;
- Automotive parts & accessories, no on-site repairs or installation;
- Office Supply and equipment sales; and
- Personal service establishments which services are performed on premises (ex. spas, massage, 1-on-1 personal training, beauty/makeup/eyebrow threading, weight loss counseling, etc.)

These uses will be considered as part of the PUD request and be included as permitted uses in the PUD ordinance. A complete list of permitted and special uses can be found in Schedule I, page 11 of Section V in the Zoning Ordinance. The PUD ordinance will include all approvals of the previously approved Special Use for the 7-Eleven development.

Open Item # 8:- Review the requested zoning district of B-1, the establishment of a PUD and the additional uses requested with the PUD.

Similar to the 7-Eleven development, which included Variations for items such as the lot depth, minimum lot size, and drive aisle widths, the subject site will include Exceptions to the Zoning Code for a number of items. As a PUD these deviations from code are considered 'exceptions' not 'variations' and therefore to not follow the standard findings required of Variations. There are three exceptions related to the size of the parcel (similar to the 7-Eleven parcel). These exceptions to the bulk regulations include lot size, lot width and depth. The exceptions are needed for redevelopment to occur on the site and due to the limited lot area available for the development. The Following Exceptions will be requested as part of the PUD:

- a. Permit a ground sign at the intersection on 17100 Harlem to be 11 ft. high, instead of the maximum of 10ft.
- b. Permit a ground sign at the intersection on 17100 Harlem to be 128 sq. ft. instead of the maximum of 120 sq. ft.
- c. Permit off-site signage for businesses within the PUD to be placed on either of the two permitted ground signs.
- d. Permit 44 parking stalls instead of the minimum requirement of 47 stalls.
- e. Permit a lot size of .938 acres instead of the minimum of 4 acres in the B-1 district.
- f. Permit a lot width of 205.90 ft. instead of the minimum of 600 ft.
- g. Permit a lot depth of 198.52 instead of the minimum of 250 ft.
- h. Permit a front yard setback of 81 ft. instead of the minimum of 125 ft.
- i. A second sign accessory to a drive thru lane (pre-menu board) that is a maximum of 15 sq. ft. in size and 7 ft. in height.

Open Item #9: Review the requested Exceptions from the Zoning Ordinance in the PUD.

FINAL PLAT OF SUBDIVISION

The proposed Plat of Subdivision will consolidate two existing lots (17118 and 17130 Harlem Avenue) resulting in a single lot that is .938 acres in size. Existing drainage and utility easements will remain on the property with a new easement where the watermain extension will run. Easements for cross-access to north and south have been included in the Final Plat of Subdivision.

Open Item #10: Review the Plat of Subdivision for recommendation to the Village Board.

STANDARDS FOR REZONING APPROVAL

The Zoning Code does not establish any specific criteria that must be met in order for the Village Board to approve a rezoning request. Likewise, Illinois Statutes does not provide any specific criteria. Historically, Illinois courts have used eight factors enunciated in two court cases. The following "LaSalle Standards" have been supplied for the Commission to consider. Staff will prepare draft responses for these conditions within the next Staff Report.

- a. The existing uses and zoning of nearby property;
 - The area is in a transition from residential to commercial uses. The surrounding areas and other corners of the nearby intersection are all commercial zoning districts and commercial uses. The areas to the north and south of the subject property have similar infill/redevelopment properties that have been rezoned to similar lower-intensity commercial districts (B-1 and B-4) upon their redevelopment.
- b. The extent to which property values are diminished by the particular zoning;
 - The area along Harlem Avenue transitioning from residential to commercial uses and is indicated as commercial/office in the Village's Comprehensive Plan. The existing zoning has resulted in dilapidated structures in the past and vacant land now. The orderly development of vacant properties is expected to enhance property values instead of diminish them.
- c. The extent to which the destruction of property values of the complaining party benefits the health, safety, or general welfare of the public;
 - The new development creates orderly developed land that improves the look of the vacant land or previously deteriorating homes. The project will contribute directly to the economic development of the community by providing retail and commercial services to visitors, providing additional jobs, and providing additional property and sales tax revenue where the existing vacant property is generating minimal tax revenue and convenience for residents and visitors.
- d. The relative gain to the public as compared to the hardship imposed on the individual property owner;
 - Landscape and fence buffering are provided that is nonexistent now. Lighting and overall site layout were designed to avoid any issues with the neighboring residential properties. The project will contribute directly to the economic development of the community by providing retail and commercial services to visitors, providing additional jobs, and providing additional property and sales tax revenue where the existing vacant property is generating minimal tax revenue and convenience for residents and visitors.
- e. The suitability of the property for the zoned purpose;
 - The proposed use as a multi-tenant commercial center with a restaurant drive-thru is suitable for the subject property due to the availability of high traffic volumes and available access points.
- f. The length of time the property has been vacant as zoned, compared to development in the vicinity of the property;
 - The residential houses were vacant for 5-6 years before being demolished around a year ago. They were not suitable for residential use due to the traffic and noise along Harlem Avenue.
- g. The public need for the proposed use; and
 - There is a demand for additional high-quality commercial space in the area, particularly with a drive-thru. The area has a low commercial vacancy and those that do have vacancy are mostly aging or blighted buildings.
- h. The thoroughness with which the municipality has planned and zoned its land use.
 - The property is shown as a Commercial/Office use in the Comprehensive Plan. The rezoning as a B-1, Neighborhood Shopping zoning district limits the ability for many non-desirable uses with negative effects to be located adjacent to residential properties.

STANDARDS FOR A SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT

No Planned Unit Development shall be authorized by the Village Board unless the following standards and criteria are met. The Plan Commission is encouraged to consider these standards (listed below) when analyzing any request for a Planned Unit Development. Staff has provided draft Findings in the below for adoption by the Commission at the public hearing.

General Provisions for All Planned Unit Developments:

- a. The site of the proposed Planned Unit Development is not less than five (5) acres in area, is under single ownership and/or unified control, and is suitable to be planned and developed, or redeveloped, as a unit and in a manner consistent with the purpose and intent of this Ordinance and with the Comprehensive Plan of the Village;
 - The PUD is under a single control and relief requested with the PUD to allow for it to be less than 5 acres due to the property being in a unique situation unable to expand and being in a small infill area with unique development challenges.
- b. The Planned Unit Development will not substantially injure, or damage the use, value, and enjoyment of the surrounding property, nor hinder or prevent the development of surrounding property in accordance with the Land Use Plan of the Village;
 - The area is in a transition from residential to commercial uses. The surrounding areas and other corners of the nearby intersection are all commercial zoning districts and uses. The areas to the north and south of the subject property have similar infill/redevelopment properties that have been rezoned to similar lower-intensity commercial districts upon their redevelopment with a large number of variations required for them to be permitted. The PUD allows additional flexibility to the development area.
- c. The uses permitted in the development are necessary or desirable and that the need for such uses has been clearly demonstrated;
 - Commercial uses are the highest and best use of the property due to the existing roadway with high traffic volumes to help provide success to the businesses that locate there.
- d. The proposed development will not impose an undue burden on public facilities and services, such as sewer and water systems, police, and fire protection;
 - The site is an infill development with adequate service provided.
- e. The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the developer;
 - The development has already been started with the approval of the 7-Eleven site currently under construction. The second phase will be completed shortly after approval and provide continuity across the new developments.
- f. The street system serving the Planned Unit Development is adequate to carry the traffic that will be imposed upon the streets by the proposed development, and that the streets and driveways on the site of the Planned Unit Development will be adequate to serve the residents or occupants of the proposed development;
 - The street system was determined to have adequate capacity per the submitted Traffic Impact Report and that was reviewed by the Village's engineering consultant.
- g. When a Planned Unit Development proposes the use of private streets, common driveways, private recreation facilities, or common open space, the developer shall provide and submit, as part of the application, the method and arrangement whereby these private facilities shall be operated and maintained;

- Cross-access and shared driveways have been proposed where possible with the development and neighboring properties outside of the PUD.
- h. The general development plan shall contain such proposed covenants, easements, and other provisions relating to the bulk, location, and density of residential buildings, non-residential uses and structures, and public facilities as are necessary for the welfare of the Planned Unit Development and the Village. All such covenants shall specifically provide for enforcement by the Village of Tinley Park in addition to the landowners within the development;
 - No covenants or private restrictions have been proposed. Any cross-access and utility easements have been recorded with the plat for control and enforcement by the Village.
- i. The developer shall provide and record easements and covenants, and shall make such other arrangements as furnishing a performance bond, escrow deposit, or other financial guarantees as may be reasonably be required to assure performance in accordance with the development plan and to protect the public interest in the event of abandonment of said plan before completion; and
 - As a single-phased plan, no additional guarantees are requested or required besides those typical of commercial development and required by code (such as a public right-of-way guarantee).
- j. Any exceptions or modifications of the zoning, subdivision, or other regulations that would otherwise be applicable to the site are warranted by the design of the proposed development plan, and the amenities incorporated in it, are consistent with the general interest of the public.
 - Code exceptions are similar to the surrounding developments that were previously approved and related to the unique nature of this development.

It should be noted that Planned Unit Developments, unlike other Special Use requests, run covenant with the land and are not specific to a developer or the current ownership. While a PUD must be under single ownership at the start of the development, it can be sold off to different owners following the phasing plan or other documents regulating the development plan.

STANDARDS FOR SITE PLAN & ARCHITECTUAL APPROVAL

Section III.T.2. of the Zoning Ordinance requires that the conditions listed below must be met and reviewed for Site Plan approval. Specific findings are not required but all standards shall be considered to have been met upon review from the Plan Commission.

<u>Architectural</u>

- a. Building Materials: The size of the structure will dictate the required building materials (Section V.C. Supplementary District Regulations). Where tilt-up or pre-cast masonry walls (with face or thin brick inlay) are allowed vertical articulation, features are encouraged to mask the joint lines. Concrete panels must incorporate architectural finishes that comply with "Building Articulation" (Section III.U.5.h.) standards. Cast in place concrete may be used as an accent alternate building material (no greater than 15% per façade) provided there is sufficient articulation and detail to diminish it's the appearance if used on large, blank walls.
- b. Cohesive Building Design: Buildings must be built with approved materials and provide architectural interest on all sides of the structure. Whatever an architectural style is chosen, a consistent style of architectural composition and building materials are to be applied on all building facades.
- c. Compatible Architecture: All construction, whether it be new or part of an addition or renovation of an existing structure, must be compatible with the character of the site, adjacent structures and streetscape. Avoid architecture or building materials that significantly diverge from adjacent architecture. Maintain the rhythm

- of the block in terms of scale, massing and setback. Where a development includes outlots they shall be designed with compatible consistent architecture with the primary building(s). Site lighting, landscaping and architecture shall reflect a consistent design statement throughout the development.
- d. Color: Color choices shall consider the context of the surrounding area and shall not be used for purposes of "attention getting" or branding of the proposed use. Color choices shall be harmonious with the surrounding buildings; excessively bright or brilliant colors are to be avoided except to be used on a minor scale for accents.
- e. Sustainable architectural design: The overall design must meet the needs of the current use without compromising the ability of future uses. Do not let the current use dictate an architecture so unique that it limits its potential for other uses (i.e. Medieval Times).
- f. Defined Entry: Entrance shall be readily identifiable from public right-of-way or parking fields. The entry can be clearly defined by using unique architecture, a canopy, overhang or some other type of weather protection, some form of roof element or enhanced landscaping.
- g. Roof: For buildings 10,000 sf or less a pitched roof is required or a parapet that extends the full exterior of the building. For buildings with a continuous roof line of 100 feet of more, a change of at least five feet in height must be made for every 75 feet.
- h. Building Articulation: Large expanses of walls void of color, material or texture variation are to be avoided. The use of material and color changes, articulation of details around doors, windows, plate lines, the provision of architectural details such as "belly-bands" (decorative cladding that runs horizontally around the building), the use of recessed design elements, exposed expansion joints, reveals, change in texture, or other methods of visual relief are encouraged as a means to minimize the oppressiveness of large expanses of walls and break down the overall scale of the building into intermediate scaled parts. On commercial buildings, facades greater than 100 feet must include some form of articulation of the façade through the use of recesses or projections of at least 6 inches for at least 20% of the length of the façade. For industrial buildings efforts to break up the long façade shall be accomplished through a change in building material, color or vertical breaks of three feet or more every 250 feet.
- i. Screen Mechanicals: All mechanical devices shall be screened from all public views.
- j. Trash Enclosures: Trash enclosures must be screened on three sides by a masonry wall consistent with the architecture and building material of the building it serves. Gates must be kept closed at all times and constructed of a durable material such as wood or steel. They shall not be located in the front or corner side yard and shall be set behind the front building façade.

Site Design

- a. Building/parking location: Buildings shall be located in a position of prominence with parking located to the rear or side of the main structure when possible. Parking areas shall be designed so as to provide continuous circulation avoiding dead-end parking aisles. Drive-through facilities shall be located to the rear or side of the structure and not dominate the aesthetics of the building. Architecture for canopies of drive-through areas shall be consistent with the architecture of the main structure.
- b. Loading Areas: Loading docks shall be located at the rear or side of buildings whenever possible and screened from view from public rights-of-way.
- c. Outdoor Storage: Outdoor storage areas shall be located at the rear of the site in accordance with Section III.O.1. (Open Storage). No open storage is allowed in front or corner side yards and are not permitted to occupy areas designated for parking, driveways or walkways.
- d. Interior Circulation: Shared parking and cross access easements are encouraged with adjacent properties of similar use. Where possible visitor/employee traffic shall be separate from truck or equipment traffic.
- e. Pedestrian Access: Public and interior sidewalks shall be provided to encourage pedestrian traffic. Bicycle use shall be encouraged by providing dedicated bikeways and parking. Where pedestrians or bicycles must cross vehicle pathways a cross walk shall be provided that is distinguished by a different pavement material or color.

MOTIONS TO CONSIDER

If the Plan Commission wishes to take action on the Petitioner's requests, the appropriate wording of the motions are listed below. The protocol for the writing of a motion is to write it in the affirmative so that a positive or negative recommendation correlates to the Petitioner's proposal. By making a motion, it does not indicate a specific recommendation in support or against the plan.

Motion 1 (Rezoning):

"...make a motion to recommend that the Village Board grant the Petitioner, Christopher Ilekis on behalf of 17118 S Harlem Tinley Park LLC (d/b/a Vequity), a rezoning of the properties located at 17120-17126 Harlem Avenue from their existing R-1 (Single-Family Residential) zoning district to the B-1 (Neighborhood Shopping) zoning district and adopt the Findings of Fact submitted by the applicant and as proposed in the May 27, 2021 Staff Report."

Motion 2 (Special Use for a PUD):

"...make a motion to recommend that the Village Board grant a Special Use Permit to the Petitioner, Christopher Ilekis on behalf of 17118 S Harlem Tinley Park LLC (d/b/a Vequity), for a Planned Unit Development for the properties located at 17100 Harlem Avenue and 17120-17126 Harlem Avenue in the B-1 (Neighborhood Shopping) zoning district, in accordance with the plans submitted and listed herein, following the list of Exceptions listed, and adopt Findings of Fact as proposed by in the May 27, 2021 Staff Report.

[any conditions that the Commission would like to add]

Motion 3 (Final Plat):

"...make a motion to recommend that the Village Board grant approval to the Petitioner, Christopher Ilekis on behalf of 17118 S Harlem Tinley Park LLC (d/b/a Vequity), Final Plat of Subdivision Approval for Southlands Second Consolidation in accordance with the Final Plat submitted and listed herein, subject to the condition that the Final Plat approval is subject to Final Engineering Plan approval by the Village Engineer."

[any conditions that the Commissioners would like to add]

Motion 4 (Site Plan):

"...make a motion to grant the Petitioner, Christopher Ilekis, on behalf of 17118 S Harlem Tinley Park LLC (d/b/a Vequity), Site Plan Approval to construct a 7,422 sq. ft. multi-tenant-tenant commercial building with a Starbucks drive-thru at 17120-17126 Harlem Avenue in the B-1 PUD (Neighborhood Shopping) zoning district, in accordance with the plans submitted and listed herein and subject to the following conditions:

- 1. The proposed fence shall be a minimum of 8 feet in height and match the existing fence on the adjacent bank and 7-Eleven properties in height, color, and style.
- 2. Site Plan Approval is subject to the approval of the Rezoning and the Special Use for a PUD by the Village Board.
- 3. Site Plan Approval is subject to final engineering plan review and approval."

[any conditions that the Commission would like to add]

LIST OF REVIEWED PLANS

	Submitted Sheet Name	Prepared By	Date On Sheet
	LaSalle Standard Responses	Vequity	N/A
	Standards for a Special Use Responses	Vequity	N/A
G0.00 to A4.01	Site and Shell Development Plans (Including Site,	llekis	5/17/21
	Architectural, Landscape, and Lighting)		
C-1 to C-12	Preliminary Civil Engineering Plans	Weaver	5/17/21
	ALTA/NSPS Land Title & Topographic Survey	Compass	12/20/20
	Access Point and Vehicle Movement Exhibit	Weaver	5/18/21
	Fire Truck and Delivery Truck Plan	Weaver	N/A
	7-Eleven and Starbucks Site Ground Signs	Everbrite	1/12/21 &
			12/10/20
2 pgs	Final Plat of Subdivision – Southlands Second	Compass	4/21/21
	Consolidation		
113 pgs	Traffic Impact Study (Revised)	KLOA	5/17/21

Vequity – Vequity Inc. Ilekis – Ilekis Associates (Architect) Weaver – Weaver Consultants Group Compass – Compass Surveying LTD KLOA – Kenig, Lindgren, O'Hara, Aboona, Inc.

THE VILLAGE OF TINLEY PARK

Cook County, Illinois Will County, Illinois

ORDINANCE NO.

AN ORDINANCE APPROVING A MAP AMENDMENT TO REZONE PROPERTY LOCATED AT 17120-17126 HARLEM AVENUE FROM R-1 (SINGLE FAMILY RESIDENTIAL) TO B-1 (NEIGHBORHOOD SHOPPING)

> MICHAEL W. GLOTZ, PRESIDENT KRISTIN A. THIRION, VILLAGE CLERK

> > WILLIAM P. BRADY
> > WILLIAM A. BRENNAN
> > DIANE M. GALANTE
> > DENNIS P. MAHONEY
> > MICHAEL G. MUELLER
> > COLLEEN M. SULLIVAN
> > Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois Will County, Illinois

ORDINANCE	NO.
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AN ORDINANCE APPROVING A MAP AMENDMENT TO REZONE PROPERTY LOCATED AT 17120-17126 HARLEM AVENUE FROM R-1 (SINGLE FAMILY RESIDENTIAL) TO B-1 (NEIGHBORHOOD SHOPPING) FOR PROPERTY

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, a petition for granting a map amendment of certain real property from the R-1 (Single Family residential) zoning district to B-1 (Neighborhood Shopping) ("Rezoning") located at 17120-17126 Harlem Avenue, Tinley Park, Illinois, 60477 ("Subject Property") has been filed by Christopher Ilekis, on behalf of 17118 S. Harlem Avenue, LLC, (d/b/a/ Vequity) ("Petitioner") with the Village Clerk of this Village and has been referred to the Plan Commission of the Village and has been processed in accordance with the Tinley Park Zoning Ordinance; and

WHEREAS, said Plan Commission held a public hearing on the question of whether the Rezoning should be granted on May 27, 2021 at the Village Hall of this Village and by teleconference per Gubernatorial Executive Order 2020-18 and the "Village of Tinley Park Temporary Public Participation Rules & Procedures", at which time all persons present were afforded an opportunity to be heard; and

WHEREAS, public notice in the form required by law was given of said public hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said public hearing in the Daily Southtown, a newspaper of general circulation within the Village of Tinley Park; and

WHEREAS, the Plan Commission voted x-x and has filed its report and findings and recommendations that the proposed Rezoning be approved with this President and Board of Trustees, and this Board of Trustees has duly considered said report of findings and recommendations; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Rezoning; and

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

SECTION 2: That the report of findings and recommendations of the Plan Commission are herein incorporated by reference as the findings of this President and the Board of Trustees, as complete as if fully set forth herein at length. This Board finds that the Petitioner has provided evidence establishing that they have met the standards for granting a Rezoning as set forth below and the proposed granting of the Rezoning as set forth herein is in the public good and in the best interest of the Village and its residents and is consistent with and fosters the purpose and spirit of the Tinley Park Zoning Ordinance.

- a. The existing uses and zoning of nearby property;
 - The area is in a transition from residential to commercial uses. The surrounding areas and other corners of the nearby intersection are all commercial zoning districts and commercial uses. The areas to the north and south of the subject property have similar infill/redevelopment properties that have been rezoned to similar lower-intensity commercial districts (B-1 and B-4) upon their redevelopment.
- b. The extent to which property values are diminished by the particular zoning;
 - The area along Harlem Avenue transitioning from residential to commercial uses and is indicated as commercial/office in the Village's Comprehensive Plan. The existing zoning has resulted in dilapidated structures in the past and vacant land now. The orderly development of vacant properties is expected to enhance property values instead of diminish them.
- c. The extent to which the destruction of property values of the complaining party benefits the health, safety, or general welfare of the public;
 - The new development creates orderly developed land that improves the look of the vacant land or previously deteriorating homes. The project will contribute directly to the economic development of the community by providing retail and commercial services to visitors, providing additional jobs, and providing additional property and sales tax revenue where the existing vacant property is generating minimal tax revenue and convenience for residents and visitors.
- d. The relative gain to the public as compared to the hardship imposed on the individual property owner;
 - Landscape and fence buffering are provided that is nonexistent now. Lighting and overall site layout were designed to avoid any issues with the neighboring residential properties. The project will contribute directly to the economic development of the community by providing retail and commercial services to visitors, providing additional jobs, and providing additional property and sales

tax revenue where the existing vacant property is generating minimal tax revenue and convenience for residents and visitors.

- e. The suitability of the property for the zoned purpose;
 - The proposed use as a multi-tenant commercial center with a restaurant drivethru is suitable for the subject property due to the availability of high traffic volumes and available access points.
- The length of time the property has been vacant as zoned, compared to development in the vicinity of the property;
 - The residential houses were vacant for 5-6 years before being demolished around a year ago. They were not suitable for residential use due to the traffic and noise along Harlem Avenue.
- g. The public need for the proposed use; and
 - There is a demand for additional high-quality commercial space in the area, particularly with a drive-thru. The area has a low commercial vacancy and those that do have vacancy are mostly aging or blighted buildings.
- h. The thoroughness with which the municipality has planned and zoned its land use.
 - The property is shown as a Commercial/Office use in the Comprehensive Plan. The rezoning as a B-1, Neighborhood Shopping zoning district limits the ability for many non-desirable uses with negative effects to be located adjacent to residential properties.

SECTION 3: The Rezoning as set forth herein below shall be applicable to the following described property:

LEGAL DESCRIPTION:

LOTS 3 AND 4 IN BLOCK 1 IN ARTHUR T. MCINTOSH AND COMPANY'S SPUTHLANDS IN THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

P.I.N.: 27-25-403-015-0000, 27-25-403-016-0000

COMMONLY KNOWN AS: 17120-17126 Harlem Avenue

SECTION 4: That a Rezoning of the Subject Property from R-1 (Single-Family Residential) to to B-1 (Neighborhood Shopping) located at 17120-17126 Harlem Avenue, Tinley Park, Illinois, 60477, is hereby granted to the Petitioner.

SECTION 5: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

SECTION 6: That this Ordinance shall be in full force and effect from and after its adoption and approval.

SECTION 7: That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 15th day of June, 2021.	
AYES:	
NAYS:	
ABSENT:	
APPROVED THIS 15th day of June, 2021.	
	VILLAGE PRESIDENT
ATTEST:	
VILLAGE CLERK	

STATE OF ILLINOIS)	
COUNTY OF COOK)	SS
COUNTY OF WILL	j	

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. _____, "AN ORDINANCE APPROVING A MAP AMENDMENT TO REZONE PROPERTY LOCATED AT 17120-17126 HARLEM AVENUE FROM R-1 (SINGLE FAMILY RESIDENTIAL) TO B-1 (NEIGHBORHOOD SHOPPING) FOR PROPERTY which was adopted by the President and Board of Trustees of the Village of Tinley Park on June 15, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of June, 2021.

KRISTIN A. THIRION, VILLAGE CLERK

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THE VILLAGE OF TINLEY PARK

Cook County, Illinois Will County, Illinois

ORDINANCE NO. ___

AN ORDINANCE GRANTING A SPECIAL USE PERMIT FOR A PLANNED UNIT DEVELOPMENT LESS THAN 5 ACRES FOR PROPERTY LOCATED AT 17100-17126 HARLEM AVENUE ON BEHALF OF 17118 S. HARLEM TINLEY PARK LLC (D/B/A/VEQUITY)

MICHAEL W. GLOTZ, PRESIDENT KRISTIN A. THIRION, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
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Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois Will County, Illinois

AN ORDINANCE GRANTING A SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT LESS THAN 5 ACRES FOR PROPERTY LOCATED AT 17100-17126 HARLEM AVENUE ON BEHALF OF 17118 S HARLEM TINLEY PARK LLC (D/B/A/VEQUITY)

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, a petition for the granting of a Special Use for a Planned Unit Development to allow for the approved development of property located at 17100 Harlem Avenue and the proposed development at 17120 -17126 Harlem Avenue, Tinley Park ("Subject Property"), has been filed by Christopher Ilekis, on behalf of 17118 S. Harlem, Tinley Park LLC (d/b/a/ Vequity) with the Village Clerk of this Village and has been referred to the Plan Commission of the Village and has been processed in accordance with the Tinley Park Zoning Ordinance; and

WHEREAS, said Plan Commission held a public hearing on the question of whether the Special Use Permit should be granted on May 27, 2020, at the Village Hall of this Village of Tinley Park ("Village"), and by teleconference per Gubernatorial Executive Order 2020-18 and the "Village of Tinley Park Temporary Public Participation Rules & Procedures", at which time all persons were afforded an opportunity to be heard; and

WHEREAS, public notice in the form required by law was given of said public hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said public hearing in the Daily Southtown, a newspaper of general circulation within the Village of Tinley Park; and

WHEREAS, the Plan Commission voted x-x and has filed its report and findings and recommendations that the proposed Special Use be approved with this President and Board of Trustees, and this Board of Trustees has duly considered said report, findings and recommendations; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Special use; and

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

SECTION 2: That the report of findings and recommendations of the Plan Commission are herein incorporated by reference as the findings of this President and the Board of Trustees, as complete as if fully set forth herein at length. This Board finds that the Petitioner has provided evidence establishing that they have met the standards for granting the Planned Unit Development set forth in Section VII.C, and the Site Plan and Architecture guidelines as set forth in Section III.U.6., and the proposed granting of the PUD and Special Use Permit as set forth herein is in the public good and in the best interest of the Village and its residents and is consistent with and fosters the purpose and spirit of the Tinley Park Zoning Ordinance.

<u>Section VII.C. Standards</u>: No Planned Unit Development (PUD) shall be authorized by the Village Board unless the following standards and criteria are met:

- A. The site of the proposed planned unit development is not less than five (5) acres in area, is under single ownership and/or unified control, and is suitable to be planned and developed, or redeveloped, as a unit and in a manner consistent with the purpose and intent of this Ordinance and with the Comprehensive Plan of the Village:
 - The PUD is under a single control and relief requested with the PUD to allow for it to be less than 5 acres due to the property being in a unique situation unable to expand and being in a small infill area with unique development challenges.
- B. The Planned Unit Development will not substantially injure, or damage the use, value, and enjoyment of the surrounding property, nor hinder or prevent the development of surrounding property in accordance with the Land Use Plan of the Village;
 - The area is in a transition from residential to commercial uses. The surrounding areas and other corners of the nearby intersection are all commercial zoning districts and uses. The areas to the north and south of the subject property have similar infill/redevelopment properties that have been rezoned to similar lower-intensity commercial districts upon their redevelopment with a large number of variations required for them to be permitted. The PUD allows additional flexibility to the development area.
- C. The uses permitted in the development are necessary or desirable and that the need for such uses has been clearly demonstrated;
 - Commercial uses are the highest and best use of the property due to the existing roadway with high traffic volumes to help provide success to the businesses that locate there.
- D. The proposed development will not impose an undue burden on public facilities and services, such as sewer and water systems, police, and fire protection;
 - The site is an infill development with adequate service provided.
- E. The proposed development can be substantially completed within the period of time specified in the schedule of development submitted by the developer;
 - The development has already been started with the approval of the 7-Eleven site currently under construction. The second phase will be completed shortly after approval and provide continuity across the new developments.

- F. The street system serving the Planned Unit Development is adequate to carry the traffic that will be imposed upon the streets by the proposed development, and that the streets and driveways on the site of the Planned Unit Development will be adequate to serve the residents or occupants of the proposed development;
 - The street system was determined to have adequate capacity per the submitted Traffic Impact Report and that was reviewed by the Village's engineering consultant.
- G. When a Planned Unit Development proposes the use of private streets, common driveways, private recreation facilities, or common open space, the developer shall provide and submit, as part of the application, the method and arrangement whereby these private facilities shall be operated and maintained;
 - Cross-access and shared driveways have been proposed where possible with the development and neighboring properties outside of the PUD.
- H. The general development plan shall contain such proposed covenants, easements, and other provisions relating to the bulk, location, and density of residential buildings, non-residential uses and structures, and public facilities as are necessary for the welfare of the Planned Unit Development and the Village. All such covenants shall specifically provide for enforcement by the Village of Tinley Park in addition to the landowners within thedevelopment;
 - No covenants or private restrictions have been proposed. Any cross-access and utility easements have been recorded with the plat for control and enforcement by the Village.
- I. The developer shall provide and record easements and covenants, and shall make such other arrangements as furnishing a performance bond, escrow deposit, or other financial guarantees as may be reasonably be required to assure performance in accordance with the development plan and to protect the public interest in the event of abandonment of said plan before completion; and
 - As a single-phased plan, no additional guarantees are requested or required besides those typical of commercial development and required by code (such as a public right-of-way guarantee).
- J. Any exceptions or modifications of the zoning, subdivision, or other regulations that would otherwise be applicable to the site are warranted by the design of the proposed development plan, and the amenities incorporated in it, are consistent with the general interest of the public.
 - Code exceptions are similar to the surrounding developments that were previously approved and related to the unique nature of this development.

SECTION 3: The Special Use Permit set forth herein below shall be applicable to the following described property:

LEGAL DESCRIPTION:

17100 Harlem Avenue

LOTS 1 AND 2 IN BLOCK 1 IN ARTHUR T. MCINTOSH AND COMPANY'S SPUTHLANDS IN THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS

PIN: 27-25-403-013-0000, 27-25-403-014-0000

17120-17126 Harlem Avenue

LOTS 3 AND 4 IN BLOCK 1 IN ARTHUR T. MCINTOSH AND COMPANY'S SPUTHLANDS IN THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PIN: 27-25-403-015-0000, 27-25-403-016-0000

SECTION 4: That a Special Use Permit for a Planned Unit Development for property located at 17100-17126 Harlem Avenue, Tinley Park ("Subject Property"), in accordance with the "List of Reviewed Plans" attached hereto as **Exhibit A**, and Ordinance 2020-O-005 attached hereto as **Exhibit B** with the following exceptions:

- a. Permit a ground sign at the intersection on 17100 Harlem to be 11 ft. high, instead of the maximum of 10ft.
- b. Permit a ground sign at the intersection on 17100 Harlem to be 128 sq. ft. instead of the maximum of 120 sq. ft.
- c. Permit off-site signage for businesses within the PUD to be placed on either of the two permitted ground signs.
- d. Permit 44 parking stalls instead of the minimum requirement of 47 stalls.
- e. Permit a lot size of .938 acres instead of the minimum of 4 acres in the B-1 district.
- f. Permit a lot width of 205.90 ft. instead of the minimum of 600 ft.
- g. Permit a lot depth of 198.52 instead of the minimum of 250 ft.
- h. Permit a front yard setback of 81 ft. instead of the minimum of 125 ft.
- i. A second sign accessory to a drive thru lane (pre-menu board) that is a maximum of 15 sq. ft. in size and 7 ft. in height.
- j. All Variations granted for the 7-Eleven development at 17100 Harlem Ave under Ordinance 2020-O-005.

SECTION 5: The Village acknowledges prior approvals as described in Ordinance 2020-O-005 attached hereto as **Exhibit B** and made apart hereof.

SECTION 6: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

SECTION 7: That this Ordinance shall be in full force and effect from and after its adoption and approval.

SECTION 8: That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 1st day of June, 2021.	
AYES:	
NAYS:	
ABSENT:	
APPROVED THIS 1st day of June, 2021.	
	VILLAGE PRESIDENT
ATTEST:	
VILLAGE CLERK	

STATE OF ILLINOIS)	
COUNTY OF COOK)	SS
COUNTY OF WILL	Ì	

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. _____, "AN ORDINANCE GRANTING A SPECIAL USE FOR A PLANNED UNIT DEVELOPMENT LESS THAN 5 ACRES FOR PROPERTY LOCATED AT 17100-17126 HARLEM AVENUE ON BEHALF OF 17118 S HARLEM TINLEY PARK LLC (D/B/A/VEQUITY)" which was adopted by the President and Board of Trustees of the Village of Tinley Park on June 01, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of June, 2021.

KRISTIN A. THIRION, VILLAGE CLERK

Exhibit A

	Submitted Sheet Name	Prepared By	Date On Sheet
	LaSalle Standard Responses	Vequity	N/A
	Standards for a Special Use Responses	Vequity	N/A
G0.00 to A4.01	Site and Shell Development Plans (Including Site, Architectural, Landscape, and Lighting)	Ilekis	5/17/21
C-1 to C-12	Preliminary Civil Engineering Plans	Weaver	5/17/21
	ALTA/NSPS Land Title & Topographic Survey	Compass	12/20/20
	Access Point and Vehicle Movement Exhibit	Weaver	5/18/21
	Fire Truck and Delivery Truck Plan	Weaver	N/A
	7-Eleven and Starbucks Site Ground Signs	Everbrite	1/12/21 & 12/10/20
2 pgs	Final Plat of Subdivision – Southlands Second Consolidation	Compass	4/21/21
113 pgs	Traffic Impact Study (Revised)	KLOA	5/17/21

Vequity – Vequity Inc.

Ilekis – Ilekis Associates (Architect)

Weaver – Weaver Consultants Group

Compass – Compass Surveying LTD

KLOA – Kenig, Lindgren, O'Hara, Aboona, Inc.

EXHIBIT B

Ordinance 2020-O-005

THE VILLAGE OF TINLEY PARK

Cook County, Illinois Will County, Illinois

ORDINANCE NO. 2020-O-005

AN ORDINANCE GRANTING CERTAIN VARIATIONS FOR AN AUTOMOBILE SERVICE (GAS) STATION LOCATED AT 17100 HARLEM AVENUE (VEQUITY, LLC, PETITIONER)

JACOB C. VANDENBERG, PRESIDENT KRISTIN A. THIRION, VILLAGE CLERK

CYNTHIA A. BERG
WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
MICHAEL W. GLOTZ
MICHAEL G. MUELLER
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois Will County, Illinois

ORDINANCE NO. 2020-O-005

AN ORDINANCE GRANTING CERTAIN VARIATIONS FOR AN AUTOMOBILE SERVICE (GAS) STATION LOCATED AT 17100 HARLEM AVENUE (VEQUITY, LLC, PETITIONER)

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, a petition for granting certain bulk variations ("Variations") to construct a gas station and convenience store at 17100 Harlem Avenue Tinley, Park, Illinois 604577 ("Subject Property") has been filed by Vequity, LLC ("Petitioner") with the Village Clerk of this Village and has been referred to the Plan Commission of the Village and has been processed in accordance with the Tinley Park Zoning Ordinance; and

WHEREAS, said Plan Commission held a public hearing on the question of whether the Variations should be granted on January 2, 2020 at the Village Hall of this Village, at which time all persons present were afforded an opportunity to be heard; and

WHEREAS, public notice in the form required by law was given of said public hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said public hearing in the Daily Southtown, a newspaper of general circulation within the Village of Tinley Park; and

WHEREAS, the Plan Commission vote 5-0 and has filed its report and findings and recommendations that the proposed Variations be approved with this President and Board of Trustees, and this Board of Trustees has duly considered said report of findings and recommendations; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Variations; and

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

SECTION 2: That the report of findings and recommendations of the Plan Commission are herein incorporated by reference as the findings of this President and the Board of Trustees, as complete as if fully set forth herein at length. This Board finds that the Petitioner has provided evidence establishing that they have met the standards for granting the Variations as set forth in Section X.G.4 of the Zoning Ordinance, and the proposed granting of the Variations as set forth herein is in the public good and in the best interest of the Village and its residents and is consistent with and fosters the purpose and spirit of the Tinley Park Zoning Ordinance.

Section X.G.4. of the Zoning Ordinance states the Plan Commission shall not recommend a Variation of the regulations of the Zoning Ordinance unless it shall have made Findings of Fact, based upon the evidence presented for each of the Standards for Variations listed below. The Plan Commission must provide findings for the first three standards; the remaining standards are provided to help the Plan Commission further analyze the request. Staff has provided the following draft Findings of the Statutorily required Standards for the Commission's review.

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.

The property is an infill site with limited ability to expand its size, dimensions, and setbacks. The overall area on the west side of Harlem Avenue will eventually meet the intent of the Zoning Code's minimum lot requirements upon its full redevelopment. The Variations allow the fairly small and limited sized lot to be reasonably developed with a commercial use.

2. The plight of the owner is due to unique circumstances.

The small properties offer a challenging situation for redevelopment as they were originally residential lots. Residential uses on the lots are no longer preferred or marketable along the heavily traveled Harlem Avenue commercial corridor.

3. The Variation, if granted, will not alter the essential character of the locality.

The lot Variations will be similar to other properties that have redeveloped along Harlem Avenue in regards to the lot size and sign setbacks. The drive aisle width is a standard

width in many other municipalities and is not expected to be noticeable.

SECTION 3: That the Variations as set forth herein below shall be applicable to the following described property

LEGAL DESCRIPTION: LOTS 1 AND 2 IN BLOCK 1 IN ARTHUR T. MCINTOSH AND COMPANY'S SPUTHLANDS IN THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL IDENTIFICATION NUMBER: 27-25-403-013-0000 and 27-25-403-014-0000

COMMONLY KNOWN AS: 17100 – 17110 Harlem Avenue, Tinley Park, Illinois

SECTION 4: That the following Variations are hereby granted to the Petitioner in the B-1 (Neighborhood Shopping) Zoning District at the above-mentioned property to construction a gas station and convenience store:

- 1. A five-foot Variation from Section IX-D-2-c, to permit a freestanding sign to be located five feet from the property instead of the required minimum of ten feet.
- 2. A two-foot Variation from Section VIII-C-Table 2 (Parking Lot Dimension Guidelines) to permit a 24-foot wide two-way drive aisle instead of the required 26-foot minimum.
- 3. A 3.039 sq. ft Variation from Section V-B-Schedule II (Schedule of District Requirements) to permit a lot size of .961 acres, instead of the required minimum 4 acres.
- 4. A 413.47-foot variation from Section V-B-Schedule II (Schedule of District Requirements) to permit a lot width of 186.53 feet instead of the required minimum 600 feet.
- 5. A 51.47 foot Variation from Section V-B-Schedule II (Schedule of District Requirements) to permit a lot depth of 198.52 feet instead of the required minimum of 250 feet.

SECTION 5: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

SECTION 6: That this Ordinance shall be in full force and effect from and after its adoption and approval.

SECTION 7: That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 4th day of February, 2020.

AYES: Berg, Brady, Brennan, Mueller

NAYS: Galante

ABSENT: Glotz

APPROVED THIS 4th day of February, 2020.

VILLAGE PRESIDENT

STATE OF ILLINOIS)	
COUNTY OF COOK)	SS
COUNTY OF WILL	ĺ	

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2020-O-005, "AN ORDINANCE GRANTING CERTAIN VARIATIONS FOR AN AUTOMOBILE SERVICE (GAS) STATION LOCATED AT 17100 HARLEM AVENUE (VEQUITY, LLC, PETITIONER)," which was adopted by the President and Board of Trustees of the Village of Tinley Park on February 4, 2020.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 4th day of February, 2020.

KRISTIN A. THIRION, VILLAGE CLERK

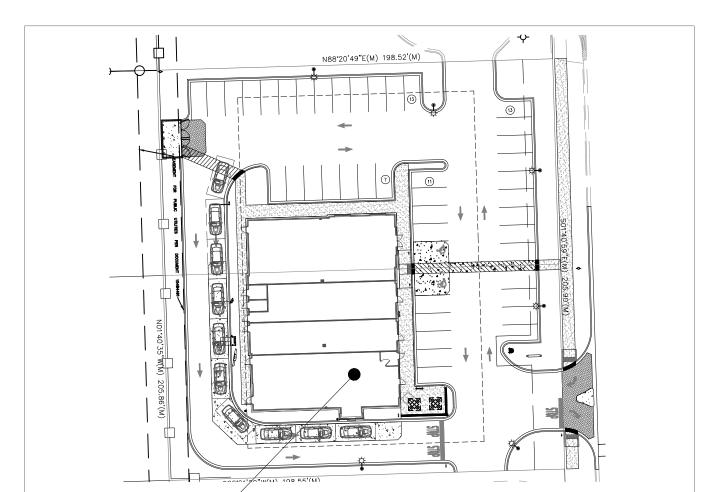


SITE AND SHELL DEVELOPMENT 17120-17126 S. HARLEM AVE

TINLEY PARK, IL 60477 20% PRELIMINARY DESIGN PACKAGE







PROJECT LOCATION PROJECT KEY PLAN NORTH SCALE: NTS



PERSPECTIVE VIEW SCALE: NTS FOR REFERENCE ONLY

SHEET INDEX

							SHEET INDEX
REVISION						CHEET MANAG	
6 5 4 3 2 1			1	SHEET NAME			
	•			•			
							ARCHITECTURAL
						G0.00	COVER SHEET DRAWING INDEX PROJECT INFO
						G0.01	CODE ANALYSIS AND ADA ACCESSIBILITY GUIDELINES
						G0.02	GENERAL NOTES
						AS1.01	SITE PLAN
						AS1.02	SITE PLAN DETAILS
						AS1.03	PHOTOMETRICS
						L-1	PRELIMINARY LANDSCAPE PLAN
						A1.01	FLOOR PLAN
						A1.02	ROOF PLAN
						A3.01	EXTERIOR ELEVATIONS
						A4.01	BUILDING SECTION

SHEET INDEX										
REVISION							CUEET MANAS			
6	5	4	3	2	1	SHEET NAME				
						ARCHITECTURAL				
						G0.00	COVER SHEET DRAWING INDEX PROJECT INFO			
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						A3.01	EXTERIOR ELEVATIONS			
						A4.01	BUILDING SECTION			

PROJECT DIRECTORY

OWNER

NORTH

VEQUITY LLC 226 N MORGAN STREET SUITE 300 CHICAGO, IL 60607 P. 312-985-0987

ARCHITECT OF RECORD

ILEKIS ASSOCIATES 223 WEST JACKSON BLVD. SUITE 1000 CHICAGO, IL 60606 P. 312-419-0009

CODE SUMMARY

- SEE G0.01 FOR ALL CODE REVIEW AND SUMMARIES.
- SEE G0.01 FOR STANDARD ADA MOUNTING INFO
- SEE G0.02 FOR GENERAL NOTES

DIGGING NOTICE

CONTRACTOR TO VERIFY ALL LOCAL REQUIREMENTS IF

DIGGING IS REQUIRED.



CITY APPROVAL

Vequity 226 N Morgan Street Suite 300

Email info@vequity.com

ILEKIS ASSOCIATES 223 W. JACKSON BLVD.

THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE, COMPLY WITH THE APPLICABLE CODES AND BUILDING

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SUITE 1000 CHICAGO, IL 60606

312-419-0009

ALPHONSE A. ILEKIS, AIA

Chicago, IL 60607

www.vequity.com

20% PRELIMINARY DESIGN PACKAGE

AGENDA - 6/1/2021,... VILLAGE OF TINLEY...

ADA ACCESSIBILITY GUIDELINES PATH OF TRAVEL 180 degree turn 180 degree turn (Exception) Clear Width of an 60-in Diameter Space T-Shaped Space For 180° Turns Walking Parallel To A Wall Changes In Level Changes In Level Accessible Route Clear Width at Turn DOORS NOTE: x = 12 in if door has both a closer and latch. pull side Clear Doorway Width Hinge Side Approaches - Swinging Doors Front Approaches - Swinging Doors push side, door provided with both closer and latch NOTE: y = 54 in minimum if door has closer. NOTE: y = 48 in minimum if door has closer. Maneuvering Clearances at Recessed Doors and Gates Doors In Series and Gates in Series Latch Side Approaches - Swinging Doors RESTROOMS 4 max 32 min alternate door location 56 min w. wall mounted w.c. 59 min w. floor mounted w.c. 42 min latch 59 min w. floor mounted w.c. 60 min 48 other approaches Standard Stall Clear Floor Space At Water Closets Grab Bars At Water Closets Standard Stall (End Of Row) Dispenser Outlet Location Toilet Stalls

rclear - - Infloor Ispace

Clear Floor Space At Lavatories

8 min. knee clearance 17 min. depth
Lavatory Clearance

Free-Standing

Fountain Or Cooler Built-In Fountain

Or Cooler

Drinking Fountains And Water Coolers

Clear Floor Space

Spout Height

And Knee Clearance Wall Hung Type

Height and Depth of Urinals

Wheelchair Accessible

Toilet Compartment

Toe Clearance

CODE ANALYSIS

ZONE:	RE-ZONE - B3					
LOT AREA SF:		SF				
BUILDING AREA SF:	40,872 7,422	SF				
BUILDING SETBACKS:	1,422	-	EQUIRED	PROVIDED	\/	ANCE
BUILDING SETBACKS:		K	EQUIRED	PROVIDED	VAKI	ANCE
FRONT YARD			25'	79'-8"		
REAR YARD			25'	42'-6 1/2"		
SIDE YARD			10'	75'-4"		
SIDE YARD			10'	28'-5"		
		PARKI	NG CALCUL	ATION		
TENANT	OCCUPANCY		AREA	PARKING/SF	PARKING R	EQUIRED
TENANT A	RESTAURAN	IT	2,202	1000/6.5	14.	00
TENANT B	RETAIL USI		1,229	1000/6.5	8.0	00
TENANT C	RETAIL US	Ī	1,303	1000/6.5	8.0	00
TENANT D	RETAIL US	=	2,545	1000/6.5	17.	00
TOTAL	BUILDING LEASE A	AREA	7,279	TOTAL REQUIRED	4	7
				TOTAL PROVIDED	4	4
					I .	2)
	90 Degree			SURPLUS/(DEFICIT)	(3	3)
STALL :	90 Degree 9'X18.5'			SURPLUS/(DEFICIT)	[(3	3)
STALL : ADA STALL:	_			SURPLUS/(DEFICIT)	[(3	3)
	9'X18.5'	ONE V	NAY	SURPLUS/(DEFICIT)		
ADA STALL: DRIVE AISLE:	9'X18.5' 11' & 5' 26'	TWO			REQUIRED	PROVIDE
ADA STALL: DRIVE AISLE: ADA	9'X18.5' 11' & 5' 26' PARKING SPACES	TWO		SURPLUS/(DEFICIT) 5%		
ADA STALL: DRIVE AISLE: ADA	9'X18.5' 11' & 5' 26' PARKING SPACES DADING BERTH:	TWO			REQUIRED	PROVIDE
ADA STALL: DRIVE AISLE: ADA LC B	9'X18.5' 11' & 5' 26' PARKING SPACES	TWO			REQUIRED	PROVIDE

CEQUITY real estate. rec
equity 6 N Morgan Street nite 300 nicago, IL 60607
2-985-0987 nail info@vequity.com ww.vequity.com
ROJECT TEAM:
LEKIS architects + planners
LEKIS ASSOCIATES 223 W. JACKSON BLVD. SUITE 1000 CHICAGO, IL 60606
312-419-0009 www.ILEKIS THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND, TO THE BEST OF MY KNOWLED COMPLY WITH THE APPLICABLE CODES AND BUILD REGULATIONS.
ALPHONSE A. ILEKIS, AIA) COPYRIGHT 2017 ILEKIS ASSOCIATES-ALL RIGHTS RESERVED
OTE:
RETAIL BUILDING PROJECT # 2014-19 20% PRELIMINARY DESIGN 17120-26 S HARLEM TINLEY PARK, IL 60477
SE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND, T IY KNOWLEDGE, COMPLY WITH THE ALL APPLICABLE CODES. YRIGHT 2018 ILEKIS ASSOCIATES, ALL RIGHTS RESERVED
ATE: ISSUED FOR:

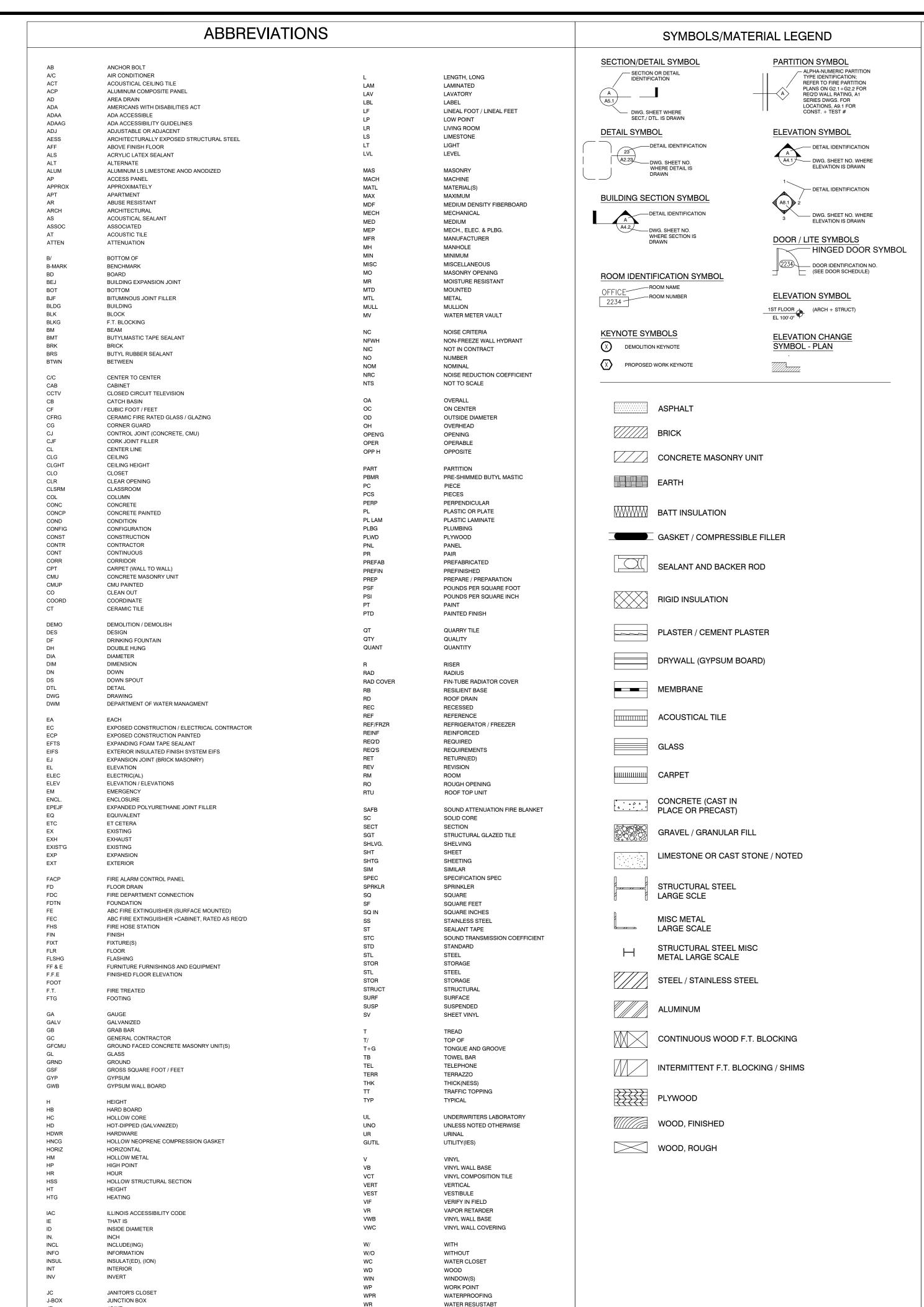
CITY APPROVAL

	TINLEY PARK, IL 60477
	S WERE PREPARED UNDER MY SUPERVISION AND, TO THE B E, COMPLY WITH THE ALL APPLICABLE CODES.
COPYRIGHT 2018 ILI	EKIS ASSOCIATES, ALL RIGHTS RESERVED
DATE:	ISSUED FOR:
04/22/21	ISSUED PER CITY COMMENTS

CODE ANALYSIS AND ADA ACCESSIBILITY GUIDELINES

03/18/21 ISSUED FOR CLIENT / CITY REVIEW

G0.01



WATER VAULT

WOOD VENEER

KITCHEN

GENERAL NOTES

1. THESE INSTRUCTIONS TO BIDDERS AND GENERAL CONDITIONS SHALL BE CONSIDERED PART OF THE CONTRACT DOCUMENTS.

2. ALL WORK IS TO BE COMPLETED IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, RULES, REGULATIONS, AND STANDARDS, INCLUDING, BUT NOT LIMITED TO THE 2012 INTERNATIONAL BUILDING CODE, THE ILLINOIS HANDICAPPED CODE, THE ILLINOIS PLUMBING, MECHANICAL, AND ELECTRICAL CODES, THE ILLINOIS FIRE CODE, THE AMERICANS WITH DISABILITIES ACT (ADA), AND APPLICABLE TRADE STANDARDS. ALL APPLICABLE RULES AND REGULATIONS ARE TO BE THE MOST CURRENT ADOPTED EDITION.

3. THE GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR OBTAINING ALL STATE AND LOCAL PERMITS REQUIRED FOR THE COMPLETION OF THE PROJECT. THE GENERAL CONTRACTOR SHALL PAY ALL PERMIT FEES, PLAN REVIEW FEES, LICENSE FEES, INSPECTION AND TAXES APPLICABLE TO THIS DIVISION AND SHALL BE INCLUDED IN THE BASE BID AS PART OF THIS CONTRACT.

4. ALL WORK MATERIALS AND CONSTRUCTION DETAILS MUST COMPLY WITH ANY AND ALL APPLICABLE FEDERAL, STATE AND LOCAL BUILDING, HEALTH AND FIRE CODES. THIS INCLUDES THE GOVERNING CODES AND ORDINANCES OF THE VILLAGE OF TINLEY PARK AND OTHER APPLICABLE FEDERAL AND STATE

5. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COMPLY WITH THE LATEST EDITION OF THE O.S.H.A. CONSTRUCTION AND SAFETY MANUAL.

6. THE GC SHALL COORDINATE WITH OWNER AND/OR ARCHITECT ALL PHASING OF CONSTRUCTION OPERATIONS IN ORDER TO MAINTAIN USE OF ALL CRITICAL FUNCTIONS, UTILITIES, SERVICES AND OTHER RELATED ITEMS WITHIN THE EXISTING FACILITIES. COORDINATE WITH ARCHITECT AND/OR OWNER PRIOR TO BIDDING

7. GC SHALL ADVISE THE ARCHITECT AND OWNER, IN WRITING, OF THE ACTUAL START OF WORK DATE - TO BEGIN IMPLEMENTATION OF THE WORK INDICATED ON THESE DRAWINGS. GC TO FURNISH A GRAPHIC CONSTRUCTION SCHEDULE SHOWING MAJOR TRADES AND FINAL COMPLETION OF SAME.

8. THE ARCHITECT SHALL HAVE THE RIGHT AT ANY TIME TO MAKE ALTERATIONS, ADDITIONS TO AND DEDUCTIONS FROM THE WORK SHOWN ON THE DRAWINGS OR DESCRIBED IN THE SPECIFICATIONS WITHOUT VOIDING THE CONTRACT. ALL SUCH ITEMS WILL BE COVERED BY A REVISION DATE TO THE PLANS, WRITTEN JOB ORDER AND/OR SUPPLEMENT TO THE CONTRACT BY THE OWNER AND THE ARCHITECT. THE CONTRACTOR SHALL COMPUTE THE VALUE OF THE WORK AND SUBMIT A PROPOSAL FOR THE APPROVAL OF THE ARCHITECT AND THE OWNER. IN THE CASE OF REVISION, ADDENDUM, OR BULLETIN, THE CONTRACTOR SHALL NOT PROCEED WITH CHANGES WITHOUT AN AUTHORIZED JOB ORDER OR SUPPLEMENT TO THE CONTRACT.

9. ANY CHANGES, SUBSTITUTION, OMISSION, OR OTHER DEVIATIONS FROM THESE DRAWINGS DURING OR BEFORE CONSTRUCTION OF THE BUILDING SHALL NOT BE THE RESPONSIBILITY OF THE ARCHITECT UNLESS AUTHORIZED IN WRITING BY THE ARCHITECT, OR HIS CONSULTANTS. CHANGES NOT APPROVED SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.

10. THE GC, WITHOUT EXTRA CHARGE, SHALL MAKE SUCH SLIGHT ALTERATION: CUTTING FITTING OR PATCHING OF HIS WORK AS MAY BE NECESSARY TO MAKE ADJUSTABLE PARTS FIT TO FIXED PARTS, LEAVING ALL COMPLETE AND IN PROPER CONDITION WHEN COMPLETED.

11. ALL CONTRACTORS ARE REQUIRED TO VISIT THE JOBSITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS PRIOR TO SUBMITTING THEIR PROPOSAL. EACH INDIVIDUAL CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS FOR FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY PRIOR TO SUBMITTING BIDS AND/OR PROCEEDING WITH ANY WORK. SHOULD ANY CONTRACTOR FIND DISCREPANCIES IN, OR OMISSION FROM THE DRAWINGS, OR SPECIFICATIONS, OR BE IN DOUBT AS TO THEIR MEANING, NOTIFY THE ARCHITECT AT ONCE, IN WRITING, OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS OR THE WORK OF OTHER TRADES PRIOR TO OBTAIN CLARIFICATION PRIOR TO SUBMITTING BID. LACK OF SUCH NOTIFICATION SHALL BE CONSTRUED TO INDICATE NO DISCREPANCIES OR CONFLICTS EXIST. ADDITIONAL COMPENSATION WILL NOT BE GRANTED AFTER THE AWARD OF THE CONTRACT FOR ANY WORK REQUESTED TO COMPLY WITH THESE REQUIREMENTS.

12. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR AND HIS RESPECTIVE SUBCONTRACTORS TO KEEP THE BUILDING AND ADJOINING PREMISES FREE AT ALL TIMES FROM THE ACCUMULATION OF DEBRIS CAUSED AS A RESULT OF THE WORK PERFORMED EACH DAY OF CONSTRUCTION.

13. THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY BARRIERS OR PARTITIONS DURING CONSTRUCTION TO PREVENT SPREAD OF DUST OR OTHER RELATED MATERIALS. VERIFY AND COORDINATE LOCATIONS WITH THE ARCHITECT AND/OR OWNER. CONTRACTOR SHALL MAINTAIN ALL REQUIRED EXITWAYS AT ALL TIMES.

14. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEMOLITION MATERIAL. REMOVAL OF DEBRIS AND DUMPSTER LOCATION MUST BE COORDINATED WITH OWNER/PROPERTY MANAGER.

15. THE METHOD OF ATTACHING NEW CONSTRUCTION TO EXISTING BUILDING STRUCTURE WILL BE IN ACCORDANCE WITH OWNERS CRITERIA AND AS REQUIRED BY CODE.

16. ALL MATTERS OF AESTHETIC EFFECT MUST BE DETERMINED BY THE ARCHITECT.

17. UNLESS OTHERWISE NOTED: WHERE EXISTING PARTITION AND WALLS ARE TO BE REMOVED, CONTRACTOR SHALL REMOVE OR RELOCATE ALL EXISTING ELECTRICAL CONDUITS, PLUMBING AND OTHER RELATED ITEMS SO AS TO RECEIVE NEW CONSTRUCTION. NON-RELOCATED LIGHT FIXTURES, SPEAKERS,

ETC., WILL BE TURNED BACK TO OWNER OR DISPOSED OF AT HIS DIRECTION.

18. WHERE EXISTING ITEMS ARE TO BE RELOCATED AND/OR REINSTALLED, THE CONTRACTOR SHALL INSTALL SUCH ITEMS EQUALING OR EXCEEDING THE QUALITY OF EXISTING INSTALLATION BOTH

STRUCTURALLY AND AESTHETICALLY. CONTRACTOR TO VERIFY PROCEDURE WITH THE ARCHITECT.

19. IN ALL AREAS WHERE EXISTING CONDITIONS ARE ALTERED, NEW MATERIALS, PARTITIONS, OR PRODUCTS ARE INSTALLED, THE CONTRACTOR SHALL PATCH AND FINISH FLOORS, WALLS, CEILINGS AND

OTHER AFFECTED AREAS TO MATCH EXISTING CONDITIONS.

20. CONTRACTOR TO REPLACE OR CORRECT ANY AND ALL EXISTING CONSTRUCTION TO REMAIN, TO MATCH THAT DAMAGED BY CONSTRUCTION AND/OR INSTALLATION PROCESS AT NO ADDITIONAL COST TO

21. CONTRACTORS TO REPLACE ALL DAMAGED AND/OR MISSING CEILING GRID. REPLACE ALL DAMAGED,

21. CONTRACTORS TO REPLACE ALL DAMAGED AND/OR MISSING CEILING GRID. REPLACE ALL DAMAGED, DISCOLORED OR MISSING CEILING TILES WITH NEW TO MATCH EXISTING.

22. ARCHITECTURAL DRAWINGS TAKE PRECEDENCE OVER ENGINEERING DRAWINGS FOR ELECTRICAL AND TELEPHONE OUTLETS AND LIGHT FIXTURE LOCATIONS. G.C. TO NOTIFY ARCH. OF DISCREPANCIES.

SLEEVES, CONDUIT AND ALL MECHANICAL SHAFTS WITH THE MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, STRUCTURAL AND ARCHITECTURAL DRAWINGS.

24. DIMENSIONS SHOWN ARE TO FINISH FACE OF WALL, UNLESS SPECIALTY NOTED OTHERWISE.

23. GENERAL CONTRACTORS SHALL COORDINATE ALL MECHANICAL AND ELECTRICAL FLOOR AND WALL

24. DIMENSIONS SHOWN ARE TO FINISH FACE OF WALL, UNLESS SPECIALTY NOTED OTHERWISE. PARTITION THICKNESS AND CONSTRUCTION ARE DESIGNATED BY PARTITION TARGETS-REFER TO PARTITION DETAILS FOR REQUIREMENTS.

25. CONTRACTORS TO MEET WITH BUILDING MANAGEMENT PRIOR TO BEGINNING OF WORK TO UNDERSTAND BUILDING RULES, HOURS OF WORK, REMOVAL OF DEBRIS, ETC.

CINDENSTAND BOILDING HOLES, HOURS OF WORK, HEIMOVAE OF DEBINS, ETC.

26. ANY SHUTDOWNS WILL BE COORDINATED WITH BUILDING MANAGEMENT.

27. ALL WORK IS TO BE COORDINATED BY THE GENERAL CONTRACTOR TO ASSURE ADEQUATE FIT, FINISH, SYSTEM OPERATION, AND FULL COMPLETION OF THE WORK, INCLUDING SERVICE REQUIREMENTS OF THE OWNERS FIXTURES, FURNISHING AND EQUIPMENT.

28. ALL DIMENSIONS ARE SHOWN ON DRAWINGS. ANY DIMENSIONS NOT SHOWN OR DEEMED QUESTIONABLE ARE TO BE VERIFIED WITH THE ARCHITECT DESIGNER. DO NOT SCALE DRAWINGS

29. CONTRACTOR IS TO SIGN EACH SHOP DRAWING SUBMITTAL CERTIFYING THAT THE SUBMITTAL HAS BEEN REVIEWED, APPROVED, AND THAT THE CONTRACTOR COORDINATION HAS BEEN APPROVED.

30. DURING THE ENTIRE PERIOD OF DEMOLITION AND CONSTRUCTION, ALL EXISTING EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES, AND ALARMS SHALL BE CONTINUOUSLY MAINTAINED IN WORKING ORDER.

31. ALL WOOD WILL BE FIRE RETARDANT TREATED TO COMPLY WITH APPLICABLE CODES.

32. PROVIDE CONCEALED WOOD OR SHEET METAL F.T. BLOCKING FOR ALL MILLWORK AND SPECIALTY ITEMS AND ACCESSORIES HUNG FROM PARTITIONS. (U.N.O.).

33. ALL FIRE EXT. CABINET LOCATIONS ARE TO BE COORDINATED W/THE ARCHITECT/DESIGNER AND LOCAL FIRE OFFICIAL PRIOR TO INSTALLATION.

34. AT COMPLETION OF JOB, PRIOR TO FINAL PAYMENT, GENERAL CONTRACTOR SHALL PROVIDE ONE COMPLETE MARKED-UP SET OF TRANSPARENCIES AND TWO SETS OF PRINTS WITH AS-BUILT CONDITIONS NOTED AND TWO COPIES OF APPLICABLE WARRANTIES, OPERATIONS MANUAL AND/OR MAINTENANCE INSTRUCTIONS

35. MOVING OF EXISTING KITCHEN EQUIPMENT, EXISTING. DINING ROOM FURNITURE, EXISTING LIBRARY FURNITURE, BOOKS, EQUIPMENT, ETC. BY OWNER.

36. CONTRACTOR TO COORDINATE ALL ACTIVITIES TO FACILITATE WORK. CONTRACTOR TO PROVIDE 5 BUSINESS DAY ADVANCED NOTICE TO CPS PRIOR TO COMMENCEMENT OF WORK.

37. GENERAL CONTRACTOR IS TO COORDINATE WITH SUB CONTRACTORS ALL ASPECTS OF WORK AND IS RESPONSIBLE FOR CONTACTING AOR WITH REGARD TO ANY CONFLICTS.

TYPICAL DEMOLITION NOTES

1. ALL CONTRACTORS TO PROVIDE ALL NECESSARY INSURANCE AND HOLD HARMLESS THE OWNER, PROPERTY MANAGER, ARCHITECT AND AGENTS THEREOF FROM ANY DAMAGES RESULTING FROM CONTRACTORS EXECUTION OF WORK.

2. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTORS TO DETERMINE IN ACCORDANCE WITH ALL CODES AND OWNERS CRITERIA, ALL METHODS FOR CONSTRUCTION, DEMOLITION, AND ALL RELATED PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR ALL MATTERS OF LIFE SAFETY RESULTING FROM ALL CONSTRUCTION AND DEMOLITION.

3. ALL CONTRACTORS SHALL PERFORM THE DEMOLITION WORK IN ACCORDANCE WITH THE CURRENT VERSION OF ANSI/ASSE A10 - THE AMERICAN NATIONAL STANDARDS FOR SAFETY IN CONSTRUCTION AND DEMOLITION OPERATIONS.

4. THE CONTRACTOR SHALL SCHEDULE HIS/HER WORK TO INSURE MINIMUM DISTURBANCE TO THE REMAINDER OF OCCUPIED SPACE(S). THE CONTRACTOR SHALL SUBMIT A DETAILED SCHEDULE OF WORK AT THE PRE-CONSTRUCTION MEETING. ALL UTILITY SHUTDOWNS SHALL BE COORDINATED WITH THE OWNER AND PROPERTY MANAGER.

5. ALL DEMOLITION WORK SHALL BE COORDINATED BY THE GENERAL CONTRACTOR. TIMING OF ALL DEMOLITION WORK SHALL BE COORDINATED BY THE GENERAL CONTRACTOR. ALL CONTRACTORS SHALL COMPLY WITH ALL RULES AND REGULATIONS OF GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER DEMOLITION WORK.

6. CONTRACTORS SHALL PROVIDE TEMPORARY PARTITION DUST BARRIERS AT THE BUILDING INTERIOR IN ORDER TO MINIMIZE THE SPREAD OF DUST AND DEBRIS TO THE ADJOINING SPACE(S). THESE SHALL HAVE DRYWALL ON ONE SIDE, TAPED AND PAINTED.

7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEMOLITION MATERIAL.

8. CONTRACTOR TO REPLACE OR CORRECT ANY AND ALL EXISTING CONSTRUCTION TO REMAIN, TO MATCH THAT DAMAGED BY CONSTRUCTION AND/OR INSTALLATION PROCESS AT NO ADDITIONAL COST TO THE OWNER. AFTER THE CONTRACTOR REMOVES THE PARTITIONS AND CEILING SYSTEM THE CONTRACTOR MUST CONTACT BOTH THE ARCHITECT AND BUILDING ENGINEER PRIOR TO FURTHER DEMOLITION FOR ANY QUESTIONS/CLARIFICATION REGARDING SYSTEMS TO REMAIN.

9. SELECTIVELY REMOVE, RELOCATE AND/OR MODIFY EXISTING SPRINKLER SYSTEM AS REQUIRED TO MEET VILLAGE OF TINLEY PARK AND NFPA CODES AND ACCOMMODATE NEW REFLECTED CEILING PLAN. REFER TO FIRE PROTECTION DRAWINGS.

10. ALL ITEMS REMOVED AND NOT SCHEDULED TO BE REINSTALLED INCLUDING MILLWORK, HARDWARE, SHELVING, LIGHT FIXTURES, THERMOSTATS, ETC. ARE TO BE TURNED OVER TO THE OWNER. IF THE OWNER CHOOSES NOT TO KEEP ANY OF THESE ITEMS CONTRACTOR SHALL DISCARD.

TYPICAL FINISH NOTES

1. PREPARE ALL EXISTING WALLS AND FLOORS TO RECEIVE NEW FINISHES, AS REQUIRED BY THE MANUFACTURER OF THE NEW FINISHES.

2. FINISHED DOOR OPENING IN ALL NEW PARTITIONS SHALL BE SET TO ALLOW FULL TRIM EXPOSURES (4" MIN.) FROM ADJACENT PERPENDICULAR PARTITIONS, UNLESS NOTED OTHERWISE.

3. ALL FINISH CARPENTRY IS TO BE COMPLETED IN STRICT ACCORDANCE WITH A.W.I STANDARDS

PREMIUM GRADE.

4. INTERIOR FINISHES: ALL INTERIOR FINISH MATERIAL SHALL COMPLY WITH THE REQUIREMENTS OF ALL APPLICABLE CODES, ORDINANCES AND REGULATORY AGENCIES.

A. ALL INTERIOR FINISHES SHALL BE RATED AS FOLLOWS:

1. ALL INTERIOR WALL & CEILING FINISH MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF 2009 INTERNATIONAL BUILDING CODE WITH VILLAGE OF TINLEY PARK AMENDMENTS, AND SHALL NOT BE LESS RESISTANT TO FLAME SPREAD THAN CLASS 2 FLAME SPREAD RATING 0 TO 25, SMOKE DEVELOPED 200 OR BETTER

2. ALL INTERIORS FLOOR COVERINGS SHALL COMPLY WITH THE 2009 INTERNATIONAL BUILDING CODE WITH VILLAGE OF TINLEY PARK AMENDMENT, CLASS B, INTERIOR FLOOR FINISH CRITICAL RADIANT FLUX BETWEEN 0.22 AND 0.44 WATTS/SQUARE CENTIMETER.

B. WALL AND/OR CEILING ASSEMBLIES THAT ARE IDENTIFIED WITH A FIRE RESISTIVE RATING SHALL BE CONSTRUCTED PER PRODUCTS MANUFACTURER'S SPECIFICATIONS AND THE REQUIREMENTS OF ALL APPLICABLE CURRENT CODES AND GOVERNING BODIES.

5. PAINTING AND DECORATING:

A. ALL SURFACES SHALL BE FREE OF DEFECTS, TAPED, FILLED AND SANDED SMOOTH TO RECEIVE INTERIOR FINISH AS SPECIFIED ON THE ROOM FINISH SCHEDULE. ALL PAINT AND WALL COVERING SHALL BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. PATCH ANY CRACKS OR HOLES, SCRAPE LOOSE OR PEELING PAINT, FILL AND SAND SMOOTH, SKIM COAT ANY NECESSARY AREAS SO THAT THE WALLS ARE PERFECTLY SMOOTH PRIOR TO PRIMING

B. EXISTING PAINTED WALLS TO HAVE PATCHED AREAS FILLED, PRIMED, AND ONE FINISH COAT. NEW WORK TO HAVE A PRIMER COAT AND 2 FINISHED COATS. AREAS TO HAVE A SPECIALTY PAINTING SHOULD FOLLOW MANUFACTURERS SPECIFICATIONS.

C. TOUCH-UP EXISTING DOORS TO REMAIN WHICH HAVE DAMAGE WITH MATCHING STAIN AND REVARNISH.

6. FLOORS AND COVERINGS:

A. GENERAL CONTRACTORS SHALL VERIFY THAT ALL FLOORS ARE IN GOOD AND LEVEL CONDITION.
ALL AREA FOUND NOT SO ARE TO BE FLASH PATCHED BY GENERAL CONTRACTORS.

B. FLOOR COVERINGS IN CLOSETS SHALL BE THE SAME AS THAT OF THE SPACE UNTO WHICH THE CLOSETS DOOR OPENS, UNLESS NOTED OTHERWISE.

WHICH THE CLOSETS DOOR OPENS, UNLESS NOTED OTHERWISE.

C. WHERE TWO DISSIMILAR FLOORING MATERIALS MEET, GENERAL CONTRACTOR SHALL PROVIDE SUITABLE TRANSITION STRIPE UNLESS NOTED OTHERWISE.

D. PROVIDE AND INSTALL RESILIENT BASE SPECIFIED. INSTALLATION OF ALL WALL BASE SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDATION. WHERE BASE IS BEING PATCHED CONTRACTOR TO USE MINIMUM OF 6'-0" PIECES.

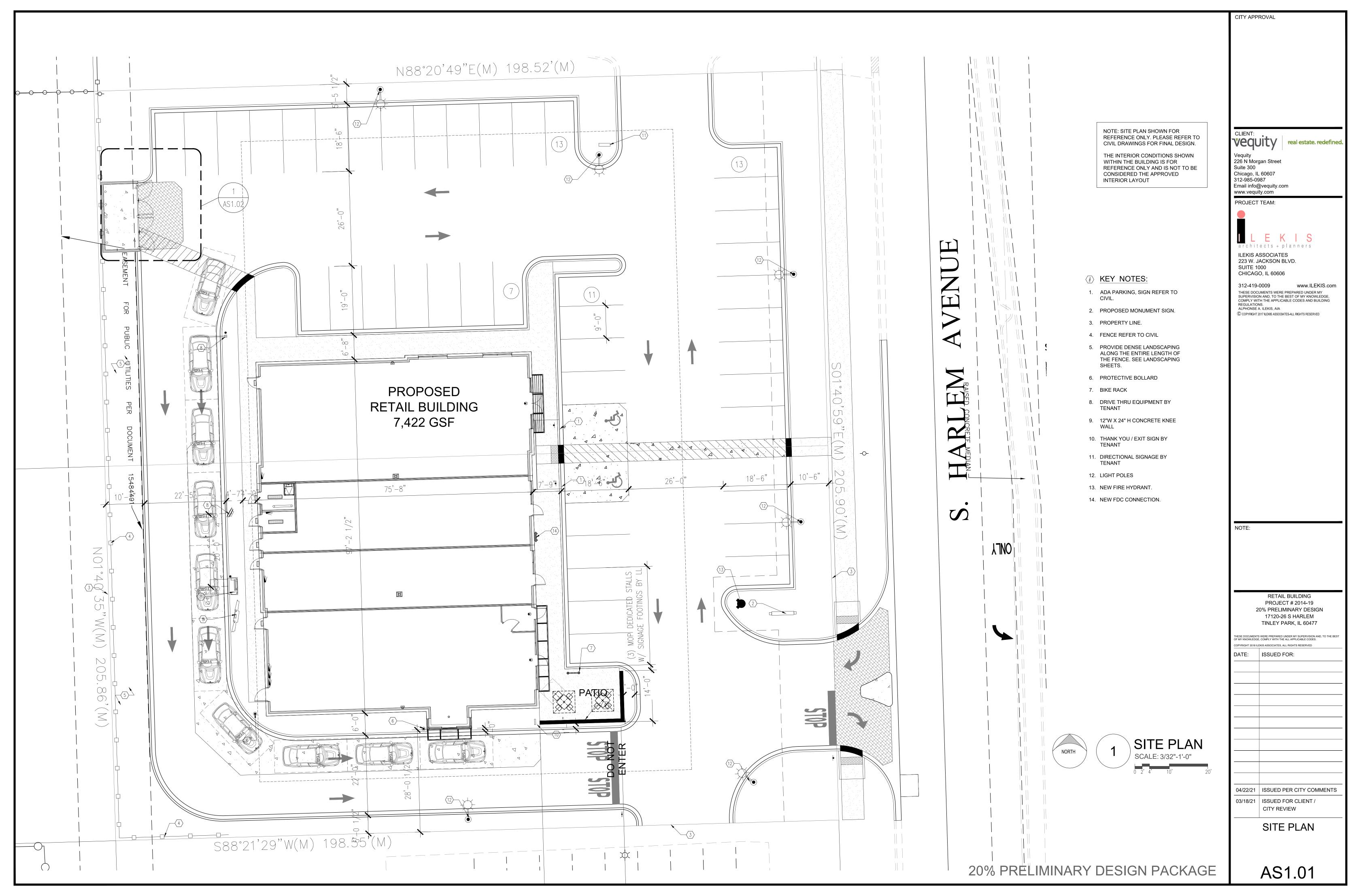
7. THE COLOR AND TEXTURE OF ALL NEW CONSTRUCTION SURFACES TO MATCH THAT OF EXISTING ADJACENT SURFACES UNLESS OTHERWISE INDICATED OR NOTED.

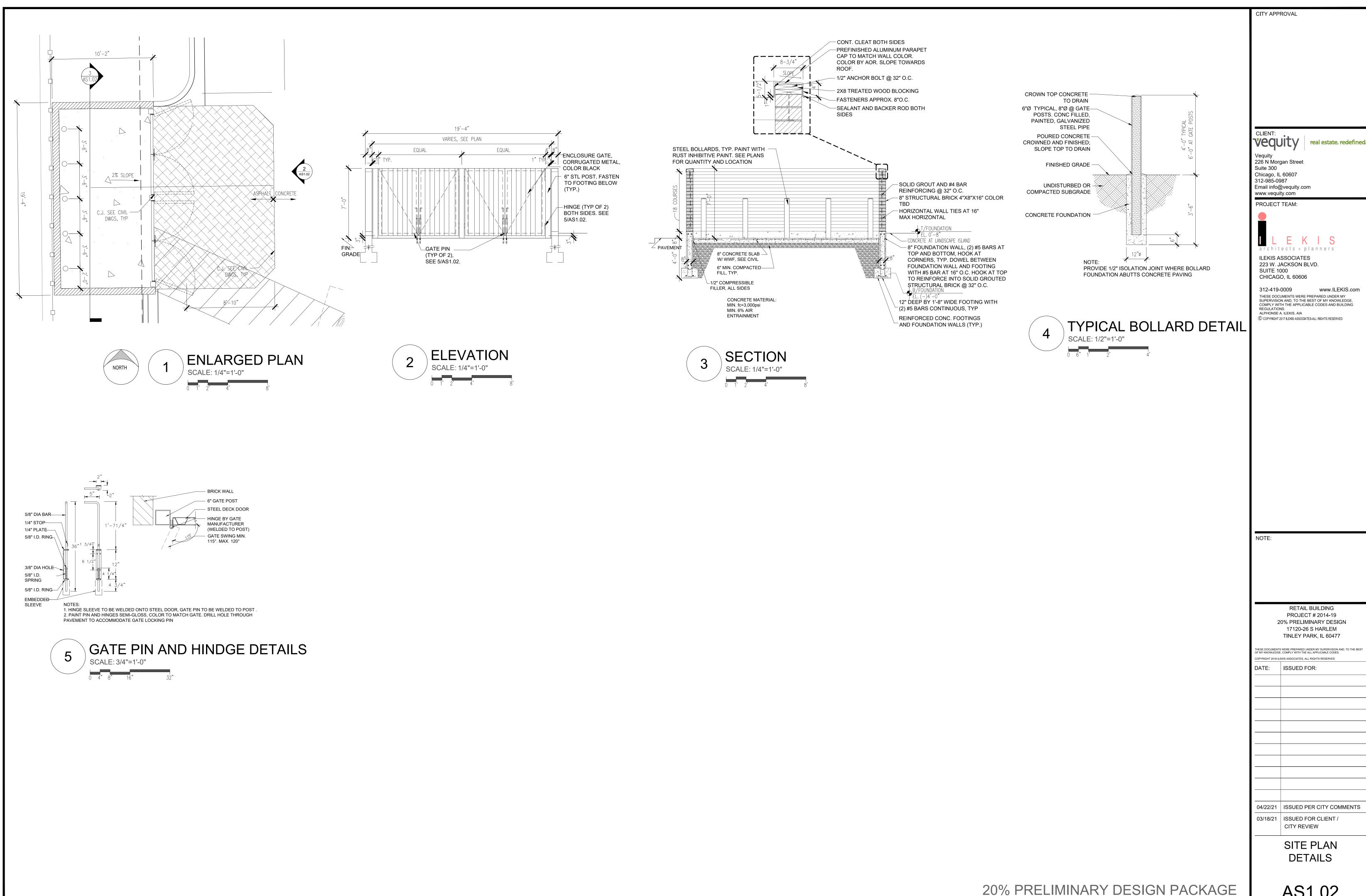
20% PRELIMINARY DESIGN PACKAGE

real estate, redefined Veguity 226 N Morgan Street Suite 300 Chicago, IL 60607 312-985-0987 Email info@vequity.com www.vequity.com PROJECT TEAM: architects + planners ILEKIS ASSOCIATES 223 W. JACKSON BLVD. SUITE 1000 CHICAGO, IL 60606 312-419-0009 www.ILEKIS.com THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE APPLICABLE CODES AND BUILDIN ALPHONSE A. ILEKIS, AIA © COPYRIGHT 2017 ILEKIS ASSOCIATES-ALL RIGHTS RESERVED RETAIL BUILDING PROJECT # 2014-19 20% PRELIMINARY DESIGN 17120-26 S HARLEM TINLEY PARK, IL 60477 ISSUED FOR: 04/22/21 | ISSUED PER CITY COMMENTS 03/18/21 | ISSUED FOR CLIENT / CITY REVIEW GENERAL NOTES

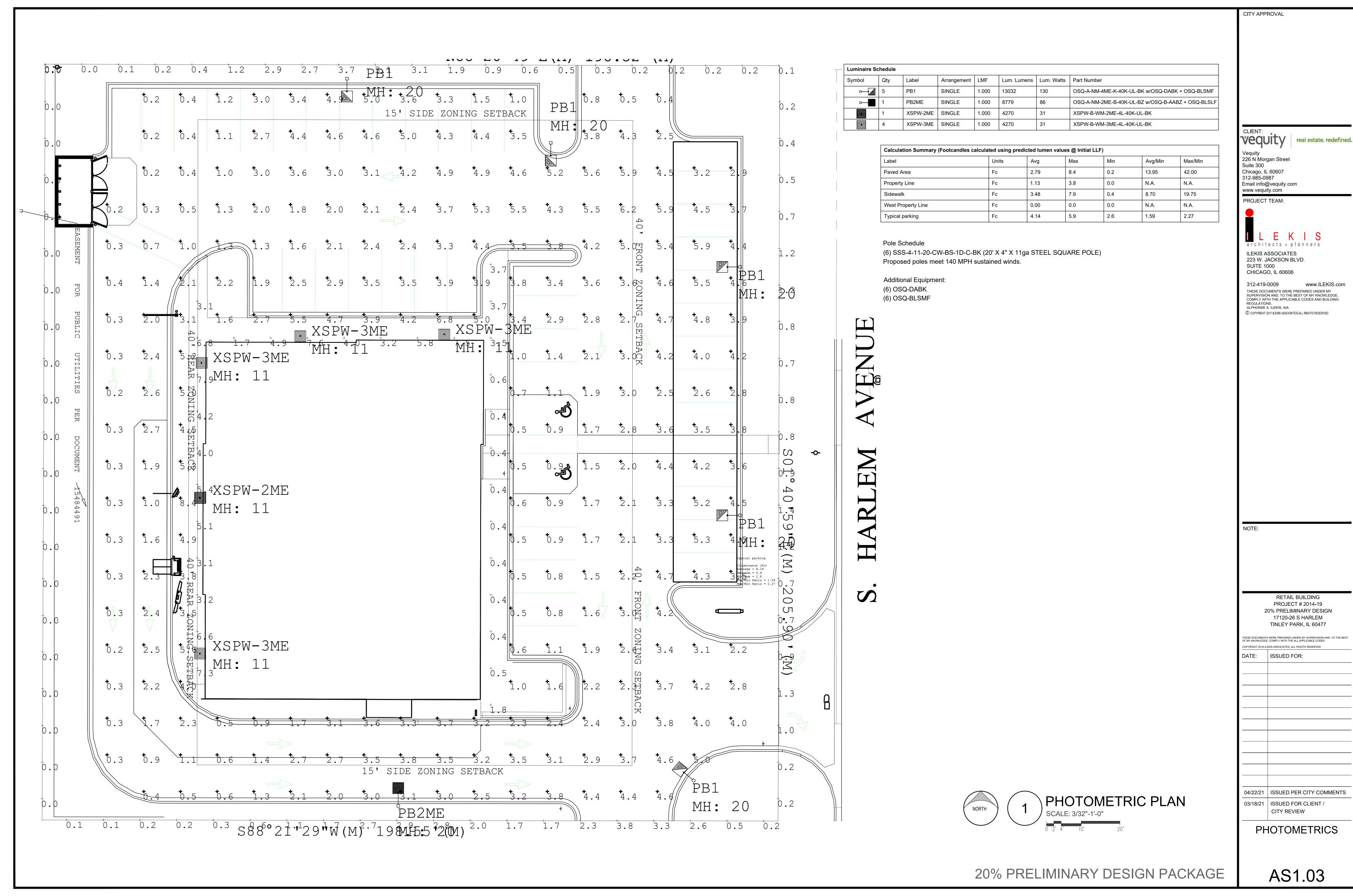
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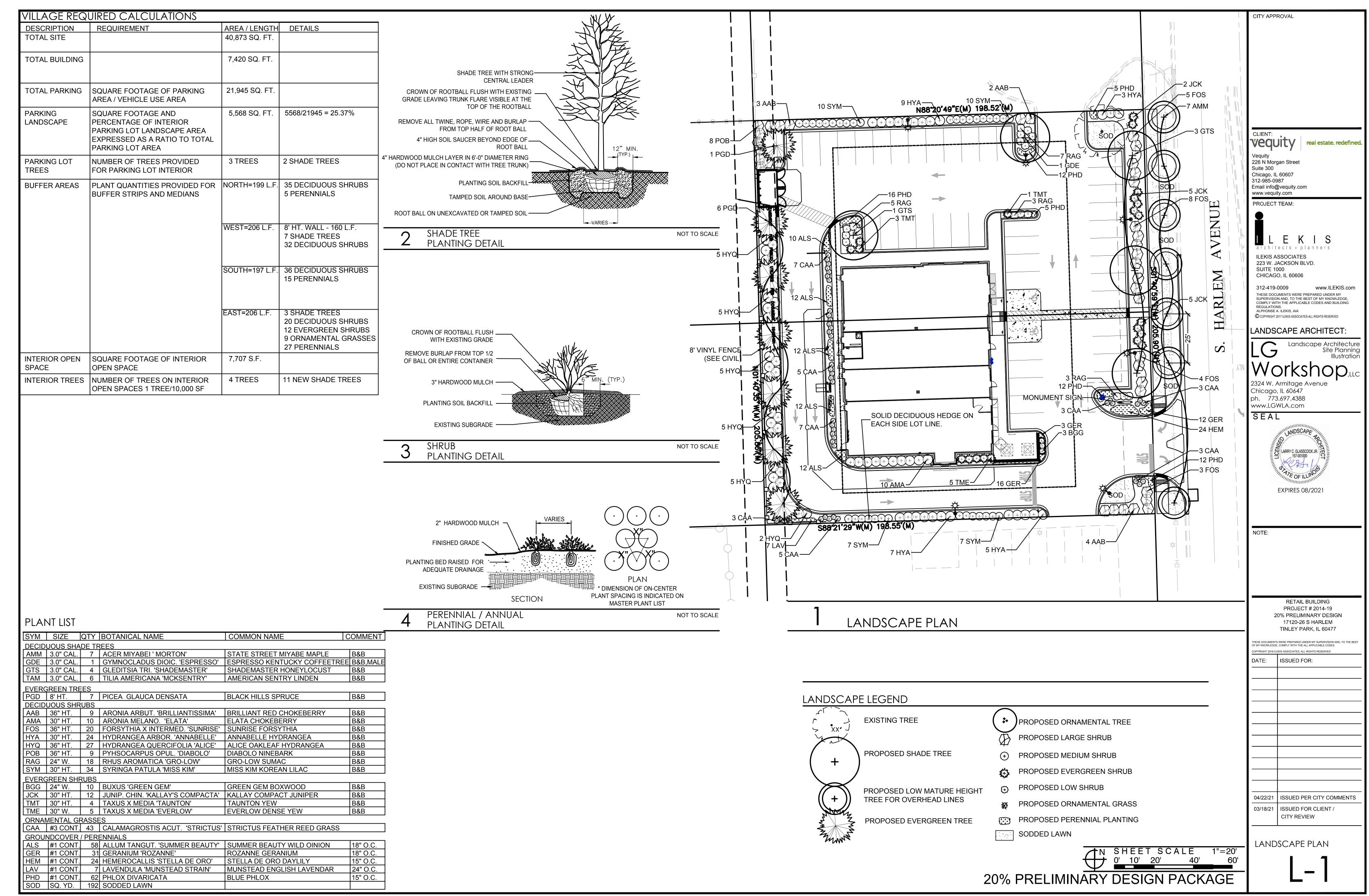
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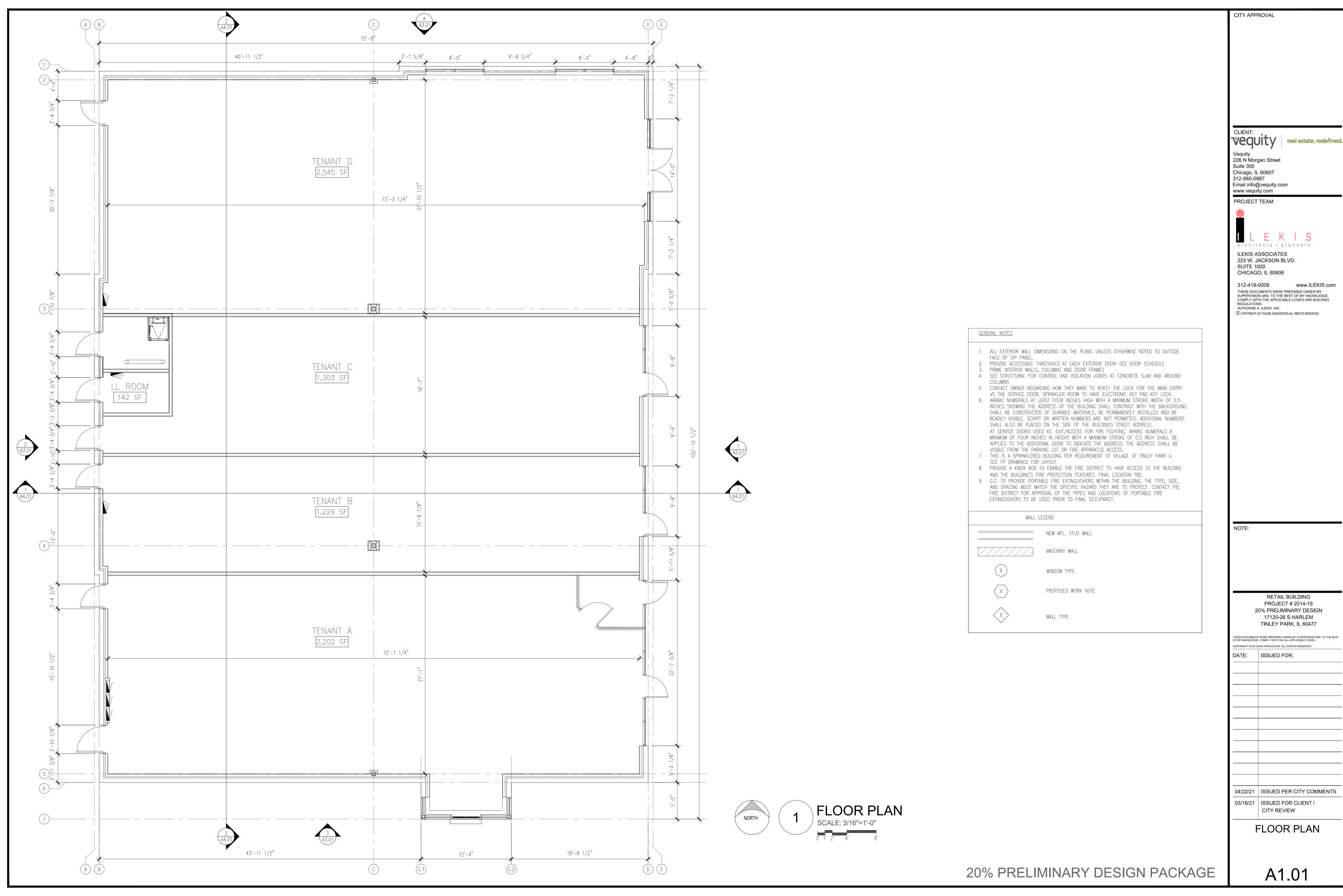


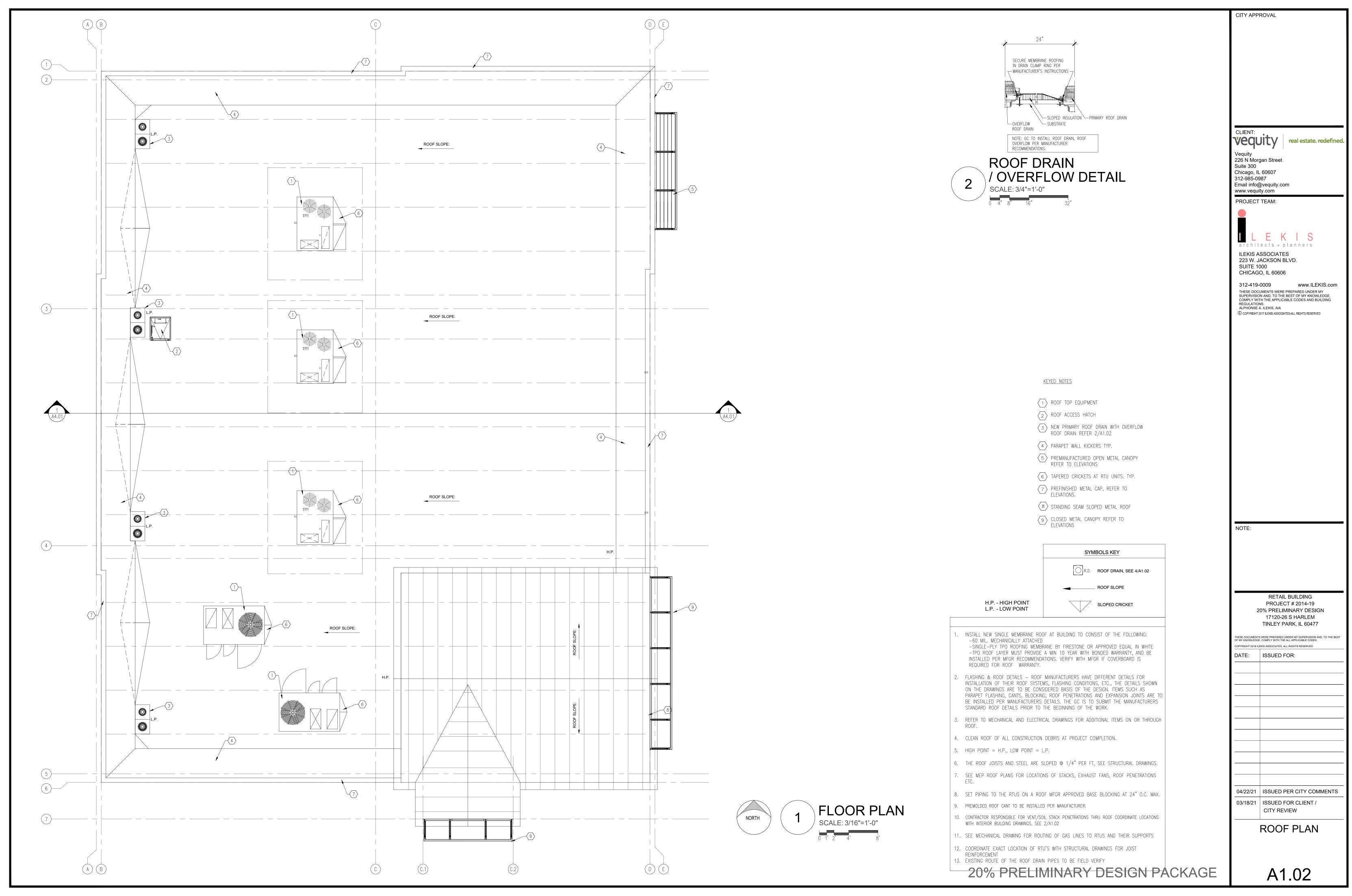


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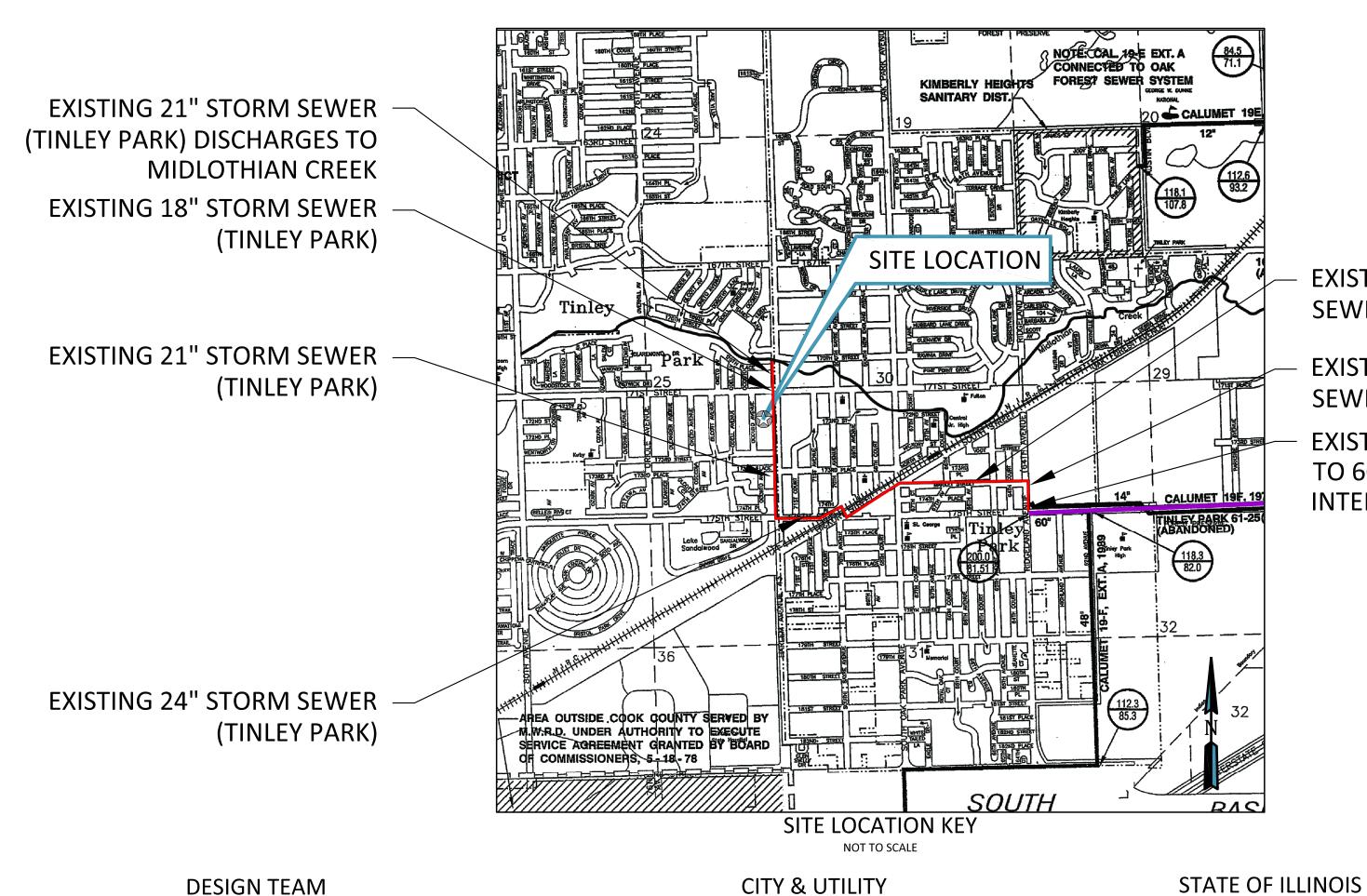




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RETAIL - TINLEY PARK

PRELIMINARY CIVIL ENGINEERING PLANS 17120-17126 S. HARLEM TINLEY PARK, IL



SHEET INDEX **EXISTING 27" STORM** SHEET NO. SHEET NAME **SEWER (TINLEY PARK)** SPECIFICATIONS, NOTES & LEGENDS EX COND & DEMO PLAN **EXISTING 36" STORM** SEWER (TINLEY PARK) **GRADING & STM WATER PLAN ACCESSIBILITY PLAN EXISTING CONNECTION** TO 60" MWRD SOIL EROSION CONTROL PLAN SOIL EROSION DETAILS & SPECS **INTERCEPTOR**

SURVEY INFORMATION:

C-10 PROJECT DETAILS 1

PROJECT DETAILS 2 PROJECT DETAILS 3

SURVEY DATE: 12/17/2020

DATUM: NAVD88

REFERENCE BENCHMARK:

NGS DESIGNATION - DK2006

ROAD, 54 FEET SOUTH OF THE CENTERLINE OF 167TH STREET, 10 FEET WEST OF A TRAFFIC SIGNAL HAND HOLE AND 1 FOOT NORTHEAST OF AN ORANGE CARSONITE MARKER. ACCESS TO THE DATUM POINT IS THROUGH A 6 INCH LOGO CAP AND THE ROD (DATUM POINT) IS SURROUNDED BY A FLOATING BRONZE DISK TO AID IN IDENTIFICATION.

BENCHMARK #1:

RAILROAD SPIKE IN SOUTHWEST FACE OF UTILITY POLE

ELEVATION = 700.19

NOTE: CONTRACTOR(S) TO VERIFY THEY HAVE THE CURRENT PLAN SET PRIOR TO CONSTRUCTION.



CIVIL ENGINEER'S CERTIFICATE

STATE OF ILLINOIS

COUNTY OF DUPAGE)

I, WILLIAM H. PERRY, A LICENSED PROFESSIONAL ENGINEER IN ILLINOIS, HEREBY CERTIFY THAT THESE CIVIL ENGINEERING PLANS, AS LISTED IN THE INDEX, THAT ARE PREFIXED WITH LETTER "C". HAVE BEEN PREPARED BY WEAVER CONSULTANTS GROUP UNDER MY PERSONAL DIRECTION.

DATE WILLIAM H. PERRY, PE

DRAINAGE CERTIFICATE

THE UNDERSIGNED HEREBY CERTIFIES THAT, TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THIS CONSOLIDATION OR THAT, IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION WILL BE MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS THAT THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO ELIMINATE THE LIKELIHOOD OF DAMAGE TO ADJOINING PROPERTY OWNERS BECAUSE OF THIS CONSOLIDATION. THE EXISTING OVERLAND FLOW ROUTES WILL CONFORM TO THE ORIGINAL SUBDIVISION GRADING PLAN AND ACCEPTED ENGINEERING DESIGN. SHOULD ANY PONDING OCCUR ON-SITE, IT WILL BE OUR RESPONSIBILITY TO ADDRESS AS PER ALL REQUIREMENTS OF THE VILLAGE'S CODES, ORDINANCES AND REGULATIONS RELATED TO STORMWATER MANAGEMENT, SOIL EROSION CONTROL AND

DATED THIS	DAY OF	, 20

OWNER

ENGINEER

SITE GRADING.



MUNICIPAL/AGENCY APPROVAL STAMP

	ВУ	KMP			
	REVISION DESCRIPTION	PER VILLAGE COMMENT			

BP KMP ESIGNED BY: EVIEWED BY: 03/17/2021 PRJ#: 4523-329-32-01





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LAND SURVEYOR SURVEYING LTD 2631 GINGER WOODS PKWY, SUITE 100, AURORA, ILLINOIS 60502

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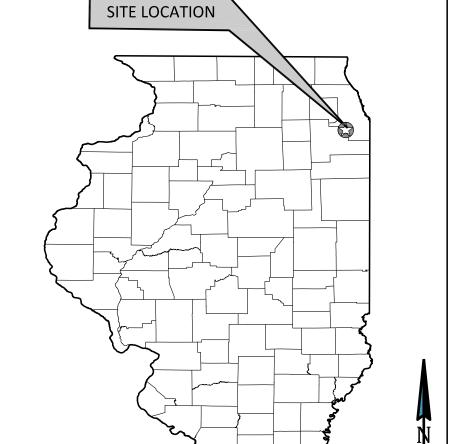
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> AT&T ROW MANAGER JACKIE FROST AT&T ILLINOIS 815-7746773 JC1243@ATT.COM

NICOR GAS BRUCE KOPPANG DOT LIASON 1844 FERRY ROAD NAPERVILLE, IL 60563 630-388-3046

COMCAST ROW ENGINEER FRANK GAUTIER COMCAST CABLE 688 INDUSTRIAL DRIVE ELMHURST, IL 60126 630-600-6348 FRANK GAUTIER@CABLE.COMCAST.COM



COOK COUNTY (NOT TO SCALE)

ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY SURVEY NUMBER: 20.0290

DATUM:

ELEVATION = 751.92

PID - DN4691

STATION IS 39 FEET WEST OF THE CENTERLINE OF WILL/COOK

ELEVATION = 704.47

BENCHMARK #2: TOP OF REBAR IN CONCRETE, SOUTHWEST CORNER OF LOT 4. ELEVATION = 704.66

BENCHMARK #2:

CROSS CUT ON TRAFFIC SIGNAL MANHOLE.



ENGINEER OF RECORD: THE ENGINEER OF RECORD (ENGINEER) IS WEAVER CONSULTANTS GROUP NORTH CENTRAL, LLC (WEAVER). WEAVER'S REPRESENTATIVES MAY OBSERVE THE CONSTRUCTION AND COMMUNICATE WITH THE CONTRACTOR

- **EXAMINATION OF THE SITE: PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE** CONTRACTOR SHALL VERIFY THAT ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADES. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSION OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE
- **CURRENT SET OF PLANS:** THE CONTRACTOR SHALL VERIFY THAT THEY ARE WORKING WITH THE CURRENT SET OF PLANS AND SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS AT THE JOB SITE AT ALL TIMES. THE CONTRACTOR SHALL ONLY BUILD FROM THE SET OF PLANS LABELED "ISSUED FOR CONSTRUCTION".
- **INDEMNIFICATION:** THE CONTRACTOR SHALL INDEMNIFY THE ENGINEER OF RECORD, THE ARCHITECT OF RECORD, THE OWNER AND THE OWNER'S AGENTS, THE MUNICIPALITY AND ALL OTHER AGENCIES FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- **TOPOGRAPHIC SURVEY:** TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THE PLANS IS PROVIDED FOR INFORMATIONAL PURPOSES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE INFORMATION SHOWN IS CORRECT AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OR ANY ERRORS, DISCREPANCIES OR OMISSIONS TO THE SURVEY INFORMATION PROVIDED. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL SURVEY SHALL BE BORNE BY THE CONTRACTOR.
- UNDERGROUND UTILITIES: THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATSOEVER IN RESPECT TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. THE CONTRACTOR SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES, DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM
- **SUBSURFACE INVESTIGATION:** SUBSURFACE EXPLORATION TO ASCERTAIN THE NATURE OF SOILS, INCLUDING THE AMOUNT OF ROCK, IF ANY, IS THE RESPONSIBILITY OF THE CONTRACTOR. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE SUCH SUBSURFACE INVESTIGATIONS AS DEEMED NECESSARY TO DETERMINE THE NATURE OF THE MATERIAL TO BE ENCOUNTERED. SOME SUBSURFACE EXPLORATION HAS BEEN PERFORMED BY THE GEOTECHNICAL ENGINEER OF RECORD ON THE PROJECT AND IS PROVIDED FOR INFORMATIONAL PURPOSES. THE DEVELOPER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY, TRUE LOCATION AND EXTENT OF THE SOILS INFORMATION THAT HAS BEEN PREPARED BY OTHERS. THEY FURTHER DISCLAIM RESPONSIBILITY FOR INTERPRETATION OF THAT DATA BY THE CONTRACTOR, AS IN PROJECTING SOIL BEARING VALUES, ROCK PROFILES, SOILS STABILITY AND THE PRESENCE, LEVEL AND EXTENT OF UNDERGROUND WATER.
- PERMITS AND LICENSES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS AND LICENSES AS REQUIRED BY STATE AND LOCAL AGENCIES. WHENEVER THE WORK REQUIRES THE OBTAINING OF PERMITS FROM THE GOVERNING AUTHORITIES, THE CONTRACTOR SHALL FURNISH DUPLICATE COPIES OF SUCH PERMITS TO THE DEVELOPER AND ENGINEER BEFORE THE WORK COVERED THEREBY IS STARTED. NO
- WORK WILL BE ALLOWED TO PROCEED BEFORE SUCH PERMITS ARE OBTAINED. 10. BONDS: PERFORMANCE, PAYMENT AND MAINTENANCE BONDS MAY BE REQUIRED FROM THE CONTRACTOR FOR ALL WORK CONSIDERED TO BE "PUBLIC" IMPROVEMENTS. BONDS SHALL BE IN THE FORM AND IN THE AMOUNTS AS REQUIRED BY THE GOVERNING
- 11. SAFETY: WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION ARE REQUIRED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF EMPLOYEES ON THE PROJECT AND SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF FEDERAL, STATE, AND MUNICIPAL SAFETY LAWS AND BUILDING CODES. CONTRACTOR SHALL ERECT AND PROPERLY MAINTAIN, AT ALL TIMES, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR PROTECTION OF WORKMEN AND THE PUBLIC AND SHALL POST DANGER SIGNS WARNING AGAINST KNOWN OR UNUSUAL HAZARDS
- NOTIFICATIONS: A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT, THE ENGINEER OF RECORD AND THE LOCAL UNDERGROUND LOCATE COMPANY FOR STAKING THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- 13. INSPECTIONS: INSPECTION OF THE PROPOSED CONSTRUCTION WILL BE PROVIDED BY THE GOVERNING AUTHORITIES AND/OR THE DEVELOPER OR ASSIGNED AGENTS. THE CONTRACTOR SHALL PROVIDE ASSISTANCE BY PROVIDING EXCAVATION. TRENCH SAFET OR OTHER WORK NECESSARY TO FACILITATE INSPECTION ACTIVITIES, AND SHALL GIVE SUFFICIENT NOTICE WELL IN ADVANCE OF PENDING CONSTRUCTION ACTIVITIES TO THE GOVERNING AUTHORITIES AND/OR DEVELOPER FOR SCHEDULING OF INSPECTION SERVICES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DETERMINATION OF ANY REQUIRED INSPECTIONS, THE SCHEDULING AND CONTROL OF INSPECTIONS AND THE ACCEPTANCE OF ALL PUBLIC AND/OR PRIVATE UTILITIES BY THE APPROPRIATE GOVERNING AUTHORITY PRIOR TO TRENCH BACKFILLING.
- 14. SHOP DRAWINGS: PROPOSED CONSTRUCTION MATERIALS SHALL BE SUBMITTED TO THE OWNER AND ENGINEER FOR APPROVAL IN ADVANCE OF MOBILIZATION. ANY DEVIATION FROM THE APPROVED CONSTRUCTION MATERIALS LIST MUST BE APPROVED BY THE ENGINEER IN WRITING.
- **15. CONSTRUCTION DEBRIS:** IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM THE CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER. WHENEVER, DURING CONSTRUCTION OPERATIONS, ANY LOOSE MATERIAL IS DEPOSITED IN THE FLOW OF GUTTERS, DRAINAGE STRUCTURES, DITCHES, ETC. SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THE LOOSE MATERIAL WILL BE REMOVED AT THE END OF EACH WORKING DAY. AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- **16. SITE DRAINAGE:** DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE CONCLUSION OF EACH DAY. ALL DRAINAGE MAY BE ACHIEVED BY DITCHING, PUMPING OR OTHER METHODS ACCEPTABLE TO THE ENGINEER.
- 17. DISPOSITION AND DISPOSAL OF EXCESS MATERIALS: ALL MATERIALS TO BE REMOVED FROM THE SITE, INCLUDING, BUT NOT LIMITED TO EXCESS MATERIALS AND UNSUITABLE MATERIALS SUCH AS CONCRETE, ASPHALT, LARGE ROCKS, REFUSE AND OTHER DEBRIS, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OUTSIDE THE LIMITS OF THE PROJECT AT THE CONTRACTOR'S EXPENSE. DISPOSAL OF MATERIALS SHALL BE IN STRICT ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL RULES AND REGULATIONS.
- 8. CONSTRUCITON STAKING: ALL SURVEYING REQUIRED FOR CONSTRUCTION STAKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE DEVELOPER SHALL PROVIDE THE PROPERTY CORNERS AND TWO BENCHMARKS FOR USE AS HORIZONTAL AND VERTICAL DATUM. THE CONTRACTOR SHALL EMPLOY A REGISTERED PROFESSIONAL LAND SURVEYOR TO PERFORM ALL ADDITIONAL SURVEY, LAYOUT AND MEASUREMENT WORK NECESSARY FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL VERIFY THE SITE BENCHMARKS' ELEVATION SHOWN ON THE PLANS AND REPORT ANY DISCREPANCIES TO THE OWNER AND ENGINEER PRIOR TO ANY CONSTRUCTION STAKING. ALL CONSTRUCTION TRADES SHALL COORDINATE THROUGH THE GENERAL CONTRACTOR USING THE SAME BENCHMARKS FOR VERTICAL CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE REMOVAL, REPLACEMENT AND REDESIGN OF ANY IMPROVEMENTS CONSTRUCTED PRIOR TO CHECKING HORIZONTAL/VERTICAL CONTROL AND PLAN DIMENSIONS AND NOTIFICATION OF ANY DISCREPANCIES TO THE OWNER AND ENGINEER. ALL INSTRUMENTS ARE TO BE PROPERLY CALIBRATED PRIOR TO USE.
- **19. PROPERTY CORNERS:** THE CONTRACTOR SHALL PROTECT ALL PROPERTY CORNER MARKERS AND BENCHMARKS, AND WHEN ANY SUCH MARKERS OR MONUMENTS ARE IN DANGER OF BEING DISTURBED, THEY SHALL BE PROPERLY REFERENCED AND IF DISTURBED SHALL BE RESET BY A REGISTERED PROFESSIONAL LAND SURVEYOR AT THE EXPENSE OF
- **20. RECORD DRAWINGS:** THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TO THE VILLAGE OF TINLEY PARK, ENGINEER OF RECORD AND THE OWNER RECORD DRAWINGS. PREPARED BY A REGISTERED PROFESSIONAL LAND SURVEYOR, OF ALL SITE IMPROVEMENTS. THESE RECORD DRAWINGS SHALL INCLUDE ALL DEVIATIONS TO THE DESIGN PLANS. ALL AS-CONSTRUCTED SPOT GRADES ON THE GRADING PLAN AND ALL AS-CONSTRUCTED GRADES INCLUDING RIMS, INVERTS AND PIPE SLOPES ON THE UTILITY PLAN. CONTRACTOR IS ALSO RESPONSIBLE TO MAKE ANY CORRECTIONS AS DETERMINED NECESSARY BY THE ENGINEER, OWNER AND/OR MUNICIPALITY AND UPDATE THE RECORD
- 21. SOIL STABILIZATION: THE CONTRACTOR SHALL COMPLY WITH THE CONDITIONS OF THE EROSION CONTROL SPECIFICATIONS. ALL SOIL SHALL BE STABILIZED PRIOR TO ISSUANCE OF FINAL APPROVAL. SEE LANDSCAPE PLAN FOR DETAILS.

SPECIFICATIONS - GRADING

- 1. EROSION CONTROL MEASURES: CONTRACTOR SHALL COMPLY WITH THE EROSION CONTROL PLAN INCLUDING, BUT NOT LIMITED TO, PERIMETER SILT
- FENCE AND INLET PROTECTION, PRIOR TO THE START OF DEMOLITION. 2. TESTING: ALL EARTHWORK OPERATIONS SHALL BE OBSERVED AND TESTED ON A CONTINUING BASIS BY THE GEOTECHNICAL ENGINEER FOR CONFORMANCE WITH THE REQUIREMENTS SET FORTH IN THE GEOTECHNICAL REPORT.
- 3. UNDISTURBED AREAS: PRIOR TO GRADING, BRUSH REMOVAL, OR SITE CONSTRUCTION, THE CONTRACTOR SHALL MEET WITH THE DEVELOPER AND/OR ENGINEER AT THE SITE TO ASCERTAIN THE AREAS OF THE PROJECT SITE THAT ARE TO BE PROTECTED AND PRESERVED. REFER TO THE LANDSCAPE PLANS AND TREE PROTECTION PLANS FOR ALL CONSTRUCTION IN THE VICINITY OF EXISTING TREES.
- 4. **STRIPPING AND DEBRIS REMOVAL**: THE BUILDING PAD SITES, AREAS TO BE PAVED. AND ALL AREAS THAT ARE TO RECEIVE FILL MATERIAL SHALL BE STRIPPED OF VEGETATION, TREES, ROOTS, STUMPS, DEBRIS, AND OTHER ORGANIC MATERIAL. STRIPPED TOPSOIL SHALL BE STOCKPILED IN A LOCATION ON-SITE APPROVED BY THE DEVELOPER IF IT HAS BEEN DETERMINED THAT IT CAN BE RE-USED ON THE SITE. ALL TREES INCLUDING STUMPS AND ROOT SYSTEMS VEGETATION, DEBRIS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OFF-SITE. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS GOVERNING SPILLAGE OF DEBRIS WHILE TRANSPORTING TO A DISPOSAL SITE. ALL COSTS ASSOCIATED WITH DISPOSAL OF MATERIAL SHALL BE INCLUDED IN THE CONTRACT AMOUNT.
- 5. PROOF ROLLING: UPON COMPLETION OF STRIPPING OPERATIONS, AND PRIOR TO PLACEMENT OF ANY FILL MATERIALS, THE STRIPPED AREAS SHOULD BE OBSERVED TO DETERMINE IF ADDITIONAL EXCAVATION IS REQUIRED TO REMOVE WEAK OR OTHERWISE OBJECTIONABLE MATERIALS THAT WOULD ADVERSELY AFFECT THE FILL PLACEMENT. THE SUB-GRADE SHOULD BE FIRM AND ABLE TO SUPPORT CONSTRUCTION EQUIPMENT WITHOUT DISPLACEMENT. SOFT OR YIELDING SUB-GRADE SHOULD BE CORRECTED AND MADE STABLE BEFORE CONSTRUCTION PROCEEDS. PROOF ROLLING SHOULD BE PERFORMED USING A HEAVY PNEUMATIC TIRE ROLLER, LOADED DUMP TRUCK, OR SIMILAR PIECE OF EQUIPMENT WEIGHING 25 TONS. THE PROOF ROLLING OPERATIONS SHOULD BE
- OBSERVED BY THE GEOTECHNICAL ENGINEER OR HIS REPRESENTATIVE. 6. CONTROLLED FILL: ALL SOILS USED FOR CONTROLLED FILL SHOULD BE FREE OF ROOTS, VEGETATION, AND OTHER DELETERIOUS OR UNDESIRABLE MATTER. SOILS IMPORTED FROM OFF-SITE FOR USE AS FILL SHOULD BE APPROVED BY THE GEOTECHNICAL ENGINEER. THE FILL MATERIAL SHOULD BE PLACED IN LEVEL. UNIFORM LIFTS, WITH EACH LIFT COMPACTED TO THE MINIMUM DRY DENSITY WITHIN THE COMPACTION SOIL MOISTURE RANGES RECOMMENDED. THE LOOSE LIFT THICKNESS SHOULD NOT EXCEED 10 INCHES. EACH LAYER SHOULD BE PROPERLY PLACED, MIXED, SPREAD, AND COMPACTED TO BETWEEN 95 AND 100
- PERCENT OF STANDARD PROCTOR DENSITY AS DETERMINED BY ASTM D-698. 7. SOIL COMPACTION: UNLESS OTHERWISE SPECIFIED BY THE GEOTECHNICAL ENGINEER, WITHIN THE LIMITS OF PROPOSED GRADING, THE SOIL SHALL BE COMPACTED IN 6" MAXIMUM LIFTS OF DRY SUB-GRADE, BACKFILL OR FILL MATERIAL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MODIFIED PROCTOR DRY DENSITY IN ACCORDANCE WITH ASTM D 1157-78:
- 8. UNDER STRUCTURES AND PAVEMENTS: 95% MODIFIED PROCTOR DRY DENSITY. UNDER PARKWAY OR UNPAVED AREAS: 85% MODIFIED PROCTOR DRY DENSITY. 10. PROPOSED GRADES: THE PROPOSED CONTOURS INDICATED ON THE GRADING PLAN ARE FINISHED GRADES AND ARE SHOWN AT ONE-FOOT INTERVALS. SPOT ELEVATIONS SHOWN ARE FINAL GRADES AND ARE NOTED WITH A PREFIX AS
- IDENTIFIED IN THE LEGEND. 11. TOLERANCE: ALL SUB-GRADE SHALL BE GRADED TO WITHIN 0.1' +/- OF THE PROPOSED SUBGRADE ELEVATIONS. ALL FINAL GRADES IN LANDSCAPE AREAS SHALL BE WITHIN 0.1' +/- OF THE PROPOSED GRADES AND CONTOUR LINES. SEE
- PAVING SPECIFICATIONS FOR TOLERANCE ON PAVED SURFACES. 12. SITE DRAINAGE: DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE CONCLUSION OF EACH DAY. ALL DRAINAGE MAY BE ACHIEVED BY DITCHING, PUMPING OR OTHER METHODS ACCEPTABLE TO THE ENGINEER.
- 13. TOPSOIL: SEE LANDSCAPE PLAN FOR DETAILS AND SPECIFICATIONS. AT A MINIMUM, ALL LANDSCAPE AREAS SHALL BE RESPREAD WITH 4" OF FRIABLE, WEED FREE, AND ROCK FREE TOPSOIL.

SPECIFICATIONS - PAVEMENT

- 1. STANDARDS AND SPECIFICATIONS: THE CURRENT EDITION OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" SHALL GOVERN THIS WORK.
- 2. PAVING CONDITIONS: THE BITUMINOUS MATERIALS SHALL ONLY BE LAID ON A SURFACE WHICH IS DRY AND WHEN THE WEATHER CONDITIONS ARE SUITABLE. THE BITUMINOUS BINDER COURSE SHALL BE PLACED ONLY WHEN THE TEMPERATURE IN THE SHADE IS AT LEAST 45 DEGREES F, WHEN THE TEMPERATURE IN THE SHADE FOR THE PREVIOUS 24 HOURS IS AT LEAST 32 DEGREES F AND WHEN RISING TEMPERATURES ARE FORECAST. THE SURFACE COURSE SHALL BE PLACED ONLY WHEN THE TEMPERATURE IN THE SHADE IS AT LEAST 50 DEGREES F, WHEN THE TEMPERATURE IN THE SHADE FOR THE PREVIOUS 24 HOURS IS AT LEAST 40 DEGREES F. AND WHEN RISING TEMPERATURES ARE FORECAST. ANY PAVEMENT ACTIVITY SHOULD BE STOPPED IN THE EVENT OF RAIN, REGARDLESS OF TEMPERATURE.
- 3. SUB-GRADE PREPARATIONS: IN ACCORDANCE WITH THE GOVERNING AUTHORITIES' SPECIFICATIONS AND THE GEOTECHNICAL REPORT, THE SUB-GRADE SHALL BE PROOF-ROLLED WITH HEAVY PNEUMATIC EQUIPMENT AND ANY SOFT OR PUMPING AREAS SHALL BE EXCAVATED TO FIRM SUB-GRADE AND BACKFILLED AND RE-COMPACTED. PAVEMENT SUB-GRADE SHALL NOT BE ALLOWED TO RETAIN WATER. WET MATERIAL SHALL BE REMOVED TO DRY.
- 4. INSPECTIONS: PAVEMENT SUB-BASE, BASE AND SURFACE MUST EACH BE INSPECTED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE NEXT PHASE OF WORK. PROOF ROLLING AND NUCLEAR DENSITY TESTING WILL BE UTILIZED IF REQUESTED BY OWNER.
- 5. CONCRETE TESTING: CONTRACTOR SHALL EMPLOY AN INDEPENDENT TESTING ENGINEER TO VERIFY THE SLUMP, AIR ENTRAINMENT AND PROVIDE (3) CYLINDER SAMPLES FOR EACH DAYS POUR, OR 50 C.Y. OF CONCRETE WHICHEVER OCCURS MORE OFTEN. COPIES OF ALL TEST RESULTS SHALL BE FORWARDED TO THE OWNER'S REPRESENTATIVE FOR APPROVAL
- **6. JOINT SEALANT:** JOINT SEALANT SHALL BE A GRAY ELASTOMERIC SILICONE OR POLYURETHANE SEALANT DESIGNED FOR CONCRETE EXPANSION AND CONTROL JOINTS CONFORMING TO ASTM C920, OR APPROVED EQUAL
- 7. CONCRETE SEALER: "SCOFIELD" CEMENTONE CLEAR SEALER OR APPROVED EQUAL SHALL BE APPLIED TO ALL CONCRETE PER MANUFACTURER'S RECOMMENDATIONS. 8. CURB TAPERS: DUB DOWN (TAPER) CONCRETE CURBS TO ZERO HEIGHT AT
- SIDEWALKS. RAMP SIDEWALKS AS REQUIRED TO MEET EXISTING AND PROPOSED ADJACENT GRADES. 9. CONSTRUCTION TOLERANCE: PAVEMENT SUB-GRADE SHALL BE FINISHED TO O.10' +/- OF DESIGN SUB-GRADE ELEVATIONS. ALL PROPOSED CURB, SIDEWALK
- GRADES. 10. STRUCTURE ADJUSTMENTS: ALL EXISTING STRUCTURES (MANHOLES, CATCH BASINS, VALVE BOXES, ETC.) SHALL BE ADJUSTED TO MEET THE FINAL PAVEMENT OR GROUND SURFACE ELEVATION AS REQUIRED.

AND PAVEMENT SHALL BE CONSTRUCTED TO WITHIN 0.05' +/- OF THE DESIGN

- 11. SAW CUTTING: REMOVAL OF ALL PAVEMENT, SIDEWALK AND/OR CURB SHALL BE ACCOMPLISHED BY SAW CUTTING IN ACCORDANCE WITH THE STATE DOT SPECIFICATIONS.
- 12. CONCRETE CURB AT ENTRANCES: SAW CUTTING OF EXISTING CURB HEAD TO PROVIDE DEPRESSED CURB AT ENTRANCES IS PROHIBITED. THE CONTRACTOR SHALL SAW CUT EXISTING CURB AT LIMITS OF WORK AND REPLACE WITH DEPRESSED CURB AT ALL ENTRANCES. DRILL AND DOWEL ALL CURB INCLUDING DEPRESSED CURB TO EXISTING CURB PER THE DETAIL
- 13. CONNECTION TO EXISTING CONCRETE: WHERE PROPOSED CONCRETE IS TO CONNECT TO EXISTING CONCRETE, AT LEAST 15" OF REINFORCING STEEL SHALL BE EXPOSED FROM THE EXISTING CONCRETE OR THE CONTRACTOR SHALL PROVIDE NEW HORIZONTAL DOWEL BARS PER THE DETAILS.
- 14. ACCESSIBILITY SPECIFICATIONS: SEE ACCESSIBILITY SPECIFICATIONS FOR MORE INFORMATION REGARDING PAVING IN THE ACCESSIBLE AREAS.

SPECIFICATIONS - UTILITIES

- 1. STANDARDS AND SPECIFICATIONS: THE CURRENT EDITIONS OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" SHALL GOVERN THE PERFORMANCE OF THE WORK. "TRENCHING" AND "OPEN EXCAVATION" OPERATIONS SHALL COMPLY WITH ALL CURRENT
- O.S.H.A. REGULATORY REQUIREMENTS. 2. **EXISTING UTILITIES:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATIONS AND PROTECTION OF ALL EXISTING UTILITIES SHOWN, ALL EXISTING UTILITIES NOT SHOWN, AND ALL PROPOSED UTILITIES ON THESE PLANS.
- 3. TEMPORARY ROADWAY PATCHES: IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN ANY TEMPORARY ROADWAY PATCHES THAT MAY OCCUR IN ORDER TO REOPEN A ROADWAY WHILE
- CONSTRUCTION ACTIVITY PROGRESSES, UNTIL SUCH TIME A PERMANENT PATCH CAN BE INSTALLED. 4. TRENCH BACKFILL IN RIGHT OF WAYS: CARE SHALL BE TAKEN IN PARKWAYS AREAS TO ASSURE COMPACTION ACCEPTABLE FOR THE FUTURE STABILITY OF DRIVEWAYS AND SIDEWALKS. WHILE SPECIAL BACKFILL MATERIAL IS NOT REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT AGAINST POTENTIAL FUTURE SETTLEMENT OF BACKFILLED AREAS.
- 5. TRENCH BACKFILL: TRENCH BACKFILL MATERIAL (SEE DETAIL), SHALL BE PROVIDED UNDER AND WITHIN TWO FEET OF ALL PROPOSED AND FUTURE SIDEWALK, CURBS AND PAVEMENT. **6. STRUCTURE BEDDING:** ALL STRUCTURE BEDDING SHALL BE COMPACTED CRUSHED STONE OR LIMESTONE MEETING CA-6 STANDARDS.
- 7. WATER AND SEWER SEPARATION: ALL SEWERS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. ALL SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT DAMAGE TO THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF WATERMAIN QUALITY MATERIALS FOR 10' ON EITHER SIDE OF THE PIPE. WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, THE SEWER SHALL BE CONSTRUCTED WITH WATER MAIN QUALITY MATERIALS.
- 8. TRANSFORMER PAD: THE CONTRACTOR IS RESPONSIBLE FOR THE ELECTRICAL TRANSFORMER CONCRETE PAD PER THE UTILITY COMPANY SPECIFICATIONS.
- 9. SEWER LID LETTERING: ALL UTILITY LIDS SHALL HAVE "VILLAGE OF TINLEY PARK" CAST ON THEM SANITARY SEWER CASTINGS TO BE LETTERED "SANITARY SEWER". ALL STORM SEWER SOLID LID CASTINGS SHALL BE LETTERED "STORM SEWER". ALL WATER CASTINGS TO BE LETTERED "WATER" ALL FRAMES AND CASTINGS SHALL MEET ALL MUNICIPAL, STATE AND REGULATORY AGENCY REQUIREMENTS AND SPECIFICATIONS.
- 10. FRAME AND GRATES: UNLESS OTHERWISE SPECIFIED ON A DETAIL OR WITHIN MUNICIPAL SPECIFICATIONS, ALL FRAME AND GRATES TO BE: 10.1. STORM STRUCTURES WITH OPEN LIDS IN PAVEMENT: EJIW 1040 FRAME WITH TYPE M1 RADIAL
- STRUCTURES IN THE CURB. LID TO BE PLACED \(\frac{1}{2} \) IN THE CURB AND \(\frac{1}{2} \) IN THE PAVEMENT. 10.2. STORM STRUCTURES WITH OPEN LIDS IN LANDSCAPE AREAS: EJIW 6527N 2" BEEHIVE GRATE, OR APPROVED EQUAL.
- 10.3. STORM STRUCTURES WITH CLOSED LIDS: EJIW 1020-A FRAME WITH TYPE A SOLID COVER, OR APPROVED EQUAL.

FLAT GRATE, OR APPROVED EQUAL. THE VILLAGE OF TINLEY PARK DOES NOT ALLOW STORM

- 10.4. WATER VALVES: EJIW 1020-A, OR APPROVED EQUAL. 10.5. SANITARY SEWER: EJIW 1020-A WITH WATERTIGHT LID AND CONCEALED PICK HOLE, OR
- APPROVED FOUAL 11. WATER MAIN BURY DEPTH: THE MINIMUM COVER FOR WATER MAIN SHALL BE 5.5' FROM THE
- FINISHED GRADE TO THE TOP OF THE MAIN. 12. CONDUIT AND SLEEVES: ALL UNDERGROUND CONDUIT AND SLEEVES ARE TO BE PLACED BEFORE SITE
- PAVING CONSTRUCTION COMMENCES AND SHALL BE BURIED A MINIMUM OF 24" BELOW THE BOTTOM OF THE PAVEMENT EXCEPT ELECTRICAL CONDUIT WHICH SHALL BE A MINIMUM OF 36" DEEP. ALL CONDUIT SHALL EXTEND TWO FEET BEYOND THE BACK OF CURB OR EDGE OF SIDEWALK. CONTRACTOR SHALL FURNISH ALL CONDUIT AS NECESSARY FOR UTILITY SERVICES. GAS, TELEPHONE AND ELECTRIC LOCATIONS MAY BE SHOWN ON THE PLAN AS A GUIDE. EXACT LOCATIONS SHALL BE DETERMINED BETWEEN THE CONTRACTOR AND UTILITY COMPANIES
- 13. WATER MAIN TESTING: ALL WATER LINES, FITTINGS AND VALVES SHALL BE TESTED FOR PRESSURE AND LEAKAGE IN ACCORDANCE WITH AWWA C600 AND FLUSHED AND DISINFECTED IN ACCORDANCE WITH AWWA C651. ALL VAULTS SHALL BE VACUUM TESTED TO PREVENT INFILTRATION. ALL TESTING FLUSHING AND DISINFECTION SHALL BE WITNESSED AND APPROVED AND SHALL BE IN COMPLIANCE WITH ALL MUNICIPAL, STATE AND REGULATORY AGENCY GUIDELINES, REQUIREMENTS AND **SPECIFICATIONS**
- **14. SANITARY SEWER TESTING:** ALL SANITARY SEWER SHALL BE INSPECTED AND TESTED UPON COMPLETION OF INSTALLATION TO THE APPROVAL OF THE MUNICIPALITY AND/OR SANITARY DISTRICT AND IEPA. EXFILTRATION TESTING (LEAKAGE SHALL NOT EXCEED 240 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY) OR AIR TESTING PER ASTM F-1417 (PLASTIC) OR ASTM C-828 (CLAY) AS WELL AS AND DEFLECTION TESTING ARE REQUIRED FOR THE SEWER. LEAKAGE TESTING PER ASTM C-969 OR VACUUM TESTING PER ASTM C-1244 ARE REQUIRED FOR MANHOLES
- **15. SEDIMENT REMOVAL:** ALL DRAINAGE STRUCTURES, PIPES AND PAVEMENT SURFACES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO FINAL ACCEPTANCE AND AS MAY BE PERIODICALLY REQUIRED DURING THE COURSE OF CONSTRUCTION.
- **16. FLARED END SECTION GRATES:** ALL FLARED END SECTIONS SHALL HAVE GRATES AND THE GRATES SHALL FOLLOW THE INTENT OF THE IDOT STANDARD. 17. STEPS IN STRUCTURE: ALL STRUCTURE STEPS SHALL BE GREY CAST IRON ASTM A-48 OF
- POLYPROPYLENE COATED STEEL REINFORCING RODS WITH LOAD AND PULLOUT RATINGS MEETING

MWRD NOTES - GENERAL

REFERENCED SPECIFICATIONS:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
- * STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT SS) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION; * STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST
- EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION; * VILLAGE OF TINLEY PARK MUNICIPAL CODE; * THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD) WATERSHED
- MANAGEMENT ORDINANCE AND TECHNICAL GUIDANCE MANUAL; * IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

NOTIFICATIONS:

- 1. THE MWRD LOCAL SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK (CALL 708-588-4055). THE VILLAGE OF TINLEY PARK ENGINEERING DEPARTMENT AND PUBLIC MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK. CONTRACTOR SHALL DETERMINE ITEMS REQUIRING INSPECTION PRIOR TO START OF CONSTRUCTION
- OR EACH WORK PHASE. 3. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED. CALL J.U.L.I.E. AT 1-800-892-0123.

GENERAL NOTES:

- 1. ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), CONVERSION FACTOR IS XXXXXX FT,
- 2. MWRD, THE MUNICIPALITY AND THE OWNER OR OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS. 3. THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, MWRD, AND THEIR
- TESTING OF THIS WORK ON THE PROJECT. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY MWRD AND THE MUNICIPALITY UNLESS CHANGES ARE APPROVED BY MWRD, THE MUNICIPALITY, OR AUTHORIZED AGENT. THE CONSTRUCTION DETAILS, AS PRESENTED ON THE

AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR

- PLANS, MUST BE FOLLOWED. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THE IMPROVEMENTS INDICATED ON THE PLANS. THE LOCATION OF VARIOUS UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. VERIFY LOCATIONS
- AND ELEVATIONS PRIOR TO BEGINNING THE CONSTRUCTION OPERATIONS. ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAY, ETC., DAMAGED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- MATERIAL AND COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY, MWRD, AND OWNER.
- 8. THE UNDERGROUND CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO NOTIFY ALL
- 9. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION.
- 10. RECORD DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER AS SOON AS UNDERGROUND IMPROVEMENTS ARE COMPLETED, FINAL PAYMENTS TO THE CONTRACTOR SHALL BE HELD UNTIL THEY ARE RECEIVED. ANY CHANGES IN LENGTH, LOCATION OR ALIGNMENT SHALL BE SHOWN IN RED. ALL WYES OR BENDS SHALL BE LOCATED FROM THE DOWNSTREAM MANHOLE. ALL VALVES, B-BOXES, TEES OR BENDS SHALL BE TIED TO A FIRE HYDRANT.

MWRD NOTES - SANITARY SEWER

- 1. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY POLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEWERS.
- 2. A WATER-TIGHT PLUG SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE PLUG SHALL REMAIN IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE MUNICIPALITY AND/OR MWRD AFTER THE SEWERS HAVE BEEN TESTED AND ACCEPTED.
- 3. DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF LINES FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR
- APPROVAL FROM THE MUNICIPALITY OR MWRD. 4. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD
- SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION). ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.
- 6. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM. 7. ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND
- PIPE SPECIFICATIONS JOINT SPECIFICATIONS PIPE MATERIAL VITRIFIED CLAY PIPE ASTM C-700 ASTM C-425 REINFORCED CONCRETE SEWER PIPE ASTM C-76 ASTM C-443 ASTM A-74 ASTM C-564 CAST IRON SOIL PIPE **DUCTILE IRON PIPE** ANSI A21.51 ANSI A21.11

JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:

POLYVINYL CHLORIDE (PVC) PIPE 6-INCH TO 15-INCH DIAMETER SDR 26 ASTM D-3034 **ASTM D-3212** ASTM D-3212 ASTM F-679 18-INCH TO 27-INCH DIAMETER F/DY=46 ASTM D-3350 ASTM D-3261,F-2620 (HEAT FUSION) HIGH DENSITY POLYETHYLENE (HDPE)

ASTM D-3035 ASTM D-3212,F-477 (GASKETED) WATER MAIN QUALITY PVC ASTM D-2241 ASTM D-3139 4-INCH TO 36-INCH AWWA C900 ASTM D-3139 4-INCH TO 12-INCH AWWA C905 ASTM D-3139 14-INCH TO 48-INCH

THE FOLLOWING MATERIALS ARE ALLOWED ON A QUALIFIED BASIS SUBJECT TO DISTRICT REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE. A SPECIAL CONDITION WILL BE ADDED TO THE PERMIT WHEN THE PIPE MATERIAL BELOW IS USED FOR SEWER CONSTRUCTION OR A CONNECTION IS MADE.

PIPE MATERIAL PIPE SPECIFICATIONS JOINT SPECIFICATIONS POLYPROPYLENE (PP) PIPE 12-INCH TO 24-INCH DOUBLE WALL ASTM F-2736 D-3212, F-477 30-INCH TO 60-INCH TRIPLE WALL ASTM F-2764 D-3212, F-477

- 8. ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE ¼ " TO 1" IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO ¼ THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. MATERIAL SHALL BE CA-7, CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC. 9. NON-SHEAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF
- DISSIMII AR PIPE MATERIALS 10. ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS. SANITARY LIDS SHALL BE CONSTRUCTED WITH A CONCEALED PICKHOLE AND WATERTIGHT GASKET WITH THE WORD "SANITARY" CAST INTO THE LID.
- 11. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED: 11.1. A CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SHEWER-TAP" MACHINE OR
- SIMILAR) AND PROPER INSTALLATION OF HUBWYE SADDLE OR HUB-TEE SADDLE. REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.
- 11.3. c) WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE 12. WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM
- VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMAINS SHALL BE MAINTAINED UNLESS: THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION; OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATER MAIN, THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED.
- 13. ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED. 14. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A
- MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE. 15. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE PRECAST "RUBBER BOOTS" THAT CONFORM TO ASTM C-923 FOR ALL PIPE CONNECTIONS. PRECAST SECTIONS SHALL CONSIST OF MODIFIED GROOVE TONGUE AND RUBBER GASKET TYPE
- 16. ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG NON-SHRINK CONCRETE OR MORTAR PLUG.
- 17. EXCEPT FOR FOUNDATION/FOOTING DRAINS PROVIDED TO PROTECT BUILDINGS, OR PERFORATED PIPES ASSOCIATED WITH VOLUME CONTROL FACILITIES. DRAIN TILES/FIELD TILES/UNDERDRAINS/PERFORATED PIPES ARE NOT ALLOWED TO BE CONNECTED TO OR TRIBUTARY TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS IN COMBINED SEWER AREAS. CONSTRUCTION OF NEW FACILITIES OF THIS TYPE IS PROHIBITED; AND ALL EXISTING DRAIN TILES AND PERFORATED PIPES ENCOUNTERED WITHIN THE PROJECT AREA SHALL BE PLUGGED OR REMOVED, AND SHALL NOT BE CONNECTED TO
- COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS. 18. A BACKFLOW PREVENTER IS REQUIRED FOR ALL DETENTION BASINS TRIBUTARY TO COMBINED SEWERS. REQUIRED BACKFLOW PREVENTERS SHALL BE INSPECTED AND EXERCISED ANNUALLY BY THE PROPERTY OWNER TO ENSURE PROPER OPERATION, AND ANY NECESSARY MAINTENANCE SHALL BE PERFORMED TO ENSURE FUNCTIONALITY. IN THE EVENT OF A SEWER SURCHARGE INTO AN OPEN DETENTION BASIN TRIBUTARY TO COMBINED SEWERS, THE PERMITTEE SHALL ENSURE THAT CLEAN UP AND WASH OUT OF SEWAGE TAKES PLACE WITHIN 48 HOURS OF THE STORM EVENT.

MWRD NOTES - EROSION CONTROL

- THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS
- SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN. 2. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO
- HYDROLOGIC DISTURBANCE OF THE SITE. 3. ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT
- CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL. 4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE
- MAINTAINED ON THE SITE AT ALL TIMES. INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
- UPON COMPLETION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY SOIL DISTURBANCE.
- ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION
- SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE CO-PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
- 7. A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- 8. CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES INVOLVING CONCRETE.
- MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT
- TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS 11. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY
- OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) DAYS 12. ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A
- MINIMUM, BE PROTECTED WITH A DOUBLE-ROW OF SILT FENCE (OR EQUIVALENT). 13. VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- 14. SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROLS. SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERS.
- 15. EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE FROSION CONTROL BLANKET
- 16. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY APPROPRIATE SEDIMENT CONTROL MEASURES. 17. THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE THEM INTO THE DRAINAGE PLAN FOR THE DEVELOPMENT. DRAIN TILES CANNOT BE TRIBUTARY TO A SANITARY OR COMBINED SEWER. DRAIN TILES ALLOWED
- IN COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES. 18. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES
- 19. THE CONTRCTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND EXCAVATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMAINS AS WELL AS THEIR SERVICES AND OTHER APPURTENANCES. ANY TRENCH DEWATERING, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO A SUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATERS SHALL NOT BE DISCHARGE TO WATERWAYS, FLOOD PROTECTION AREAS
- OR THE COMBINED SEWER SYSTEM. 20. ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES. 21. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND
- REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS

WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABILIZATION.

23. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, SITE INSPECTOR, OR MWRD.

22. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED

SYMBOLS AND ABBREVIATIONS LEGEND O—O ORNAMENTAL METAL FENCE • FLAG POLE □ WOOD FENCE SIGN SIGN IN BOLLARD DOUBLE FACED SIGN DOUBLE FACED SIGN IN BOLLARD BOLLARD • • • • GUARDRAIL PARKING LOT LIGHT POLE _______________________MINOR CONTOUR WALL SCONCE _____800_____ MAJOR CONTOUR **GREASE TRAPS** HWI HIGH WATER LINE SANITARY MANHOLE CO SANITARY CLEANOUT NWI — NORMAL WATER LINE COO SEWER CLEANOUT FPL FLOODPLAIN STORM SEWER CB/ INLET FLOODWAY STORM MANHOLE — WTLD — WETLAND FLARED END SECTION ______ 50' BUFFER _____ 50' BUFFER RDO DSO DOWNSPOUT/ ROOF DRAIN AT GRADE ——— 100' BUFFER ———— 100' BUFFER RD_o DS_o downspout/ roof drain _____ XXXX_____ DEMO CONNECTION TPF TREE PROTECTION FENCE WATER VAULT OHE OVERHEAD ELECTRIC **FIRE HYDRANT** — UGE — UNDERGROUND ELECTRIC B-BOX/ WATER VALVE ——— CATV ———— CABLE/TV PRESSURE CONNECTION FIBER OPTIC LINE SPIGOT / IRRIGATION STUB GAS GAS LINE GM GV GAS METER WM 4" WATER MAIN GAS VALVE STORM SEWER PIPE PROPOSED PROFICE FLOW ROUTE PROPOSED OVERLAND __________________FLOW ARROW (PAVEMENT) **SANITARY SEWER PIPE** FLOW ARROW (LANDSCAPE) **COMBINED SEWER PIPE** EM TR. ELECTRIC METER ELECTRIC TRANSFORMER TC803.00 ► PROPOSED SPOT GRADE CTV CABLE TV STRUCTURE TC (TOP OF CURB) TOW (TOP OF WALL) FL (FLOW LINE) BOW (BOTTOM OF WALL) FBR FIBER OPTIC STRUCTURE BC (BACK OF CURB) FND (FOUNDATION)

DC (DEPRESSED CURB)

(PAVEMENT)

FC (FACE OF CURB)

W (TOP OF WALK)

(EDGE)

TEL TELEPHONE STRUCTURE

FNC (FENCE)

WTLD (WETLAND)

FLP (FLOODPLAIN)

FLW (FLOODWAY)

BLDG (BUILDING)

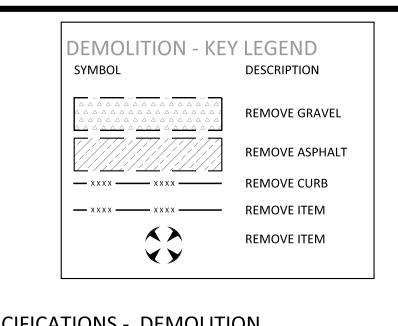
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MUNICIPAL/AGENCY APPROVAL STAMP

SPECIFICATIONS - DEMOLITION

- 1. **PERMITS:** CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL REQUIRED PERMITS PRIOR
- 2. EROSION CONTROL MEASURES: CONTRACTOR SHALL COMPLY WITH THE EROSION CONTROL PLAN INCLUDING, BUT NOT LIMITED TO, PERIMETER SILT FENCE AND INLET PROTECTION, PRIOR TO THE START OF DEMOLITION.
- 3. STRIPPING AND DEBRIS REMOVAL: THE BUILDING PAD SITES, AREAS TO BE PAVED, AND ALL AREAS THAT ARE TO RECEIVE FILL MATERIAL SHALL BE STRIPPED OF VEGETATION, TREES, ROOTS, STUMPS, DEBRIS, AND OTHER ORGANIC MATERIAL. STRIPPED TOPSOIL SHALL BE STOCKPILED IN A LOCATION ON-SITE APPROVED BY THE DEVELOPER IF IT HAS BEEN DETERMINED THAT IT CAN BE RE-USED ON THE SITE. ALL TREES INCLUDING STUMPS AND ROOT SYSTEMS, VEGETATION, DEBRIS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OFF-SITE. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS GOVERNING SPILLAGE OF DEBRIS WHILE TRANSPORTING TO A DISPOSAL SITE. ALL COSTS ASSOCIATED WITH DISPOSAL OF MATERIAL SHALL BE INCLUDED IN THE CONTRACT AMOUNT.
- 4. **BURNING:** BURNING SHALL NOT BE PERMITTED ON THE PROJECT SITE UNLESS APPROVED IN WRITING BY THE GOVERNING AUTHORITIES AND THE DEVELOPER.
- 5. **EXISTING UTILITIES:** ALL EXISTING UTILITIES ARE TO BE PROTECTED UNLESS OTHERWISE NOTED OR AGREED TO BY THE OWNER AND ENGINEER. ALL EXISTING UTILITIES THAT ARE NOTED TO BE REMOVED SHALL BE CAPPED AND REMOVED AS INDICATED AFTER EXISTING LINES ARE TAKEN OUT OF SERVICE AND UTILITY COMPANY APPROVALS ARE OBTAINED. EXISTING UTILITIES THAT ARE NOTED TO BE ABANDONED SHALL BE FILLED OR CRUSHED TO AVOID FUTURE PIPE FAILURE.
- **6. RE-USE OF EXISTING MATERIALS:** CONTRACTOR SHALL RE-USE EXISTING MATERIALS ON THE SITE FOR BACKFILL AND/OR SUB-GRADE ONLY IF APPROVAL IS OBTAINED IN WRITING FROM THE OWNER, ENGINEER AND GEOTECHNICAL ENGINEER. DURING BIDDING, CONTRACTOR SHALL NOT ASSUME THAT MATERIALS CAN BE RE-USED
- 7. PLUGGING EXISTING SANITARY SEWERS: CONTRACTOR SHALL PLUG DOWNSTREAM END OF EXISTING SANITARY SEWER PRIOR TO DEMOLITION TO PREVENT STORMWATER AND DEBRIS FROM ENTERING THE SEWER.
- 8. DRAINAGE: POSITIVE DRAINAGE SHALL BE MAINTAINED THROUGHOUT DEMOLITION. CONTRACTOR SHALL PLAN DEMOLITION IN STAGES TO PREVENT EXCESS PONDING OR BLOCKAGE OF DRAINAGE. ALL STORM SEWER OR FIELD TILES DAMAGED DURING DEMOLITION SHALL BE REPAIRED AND/OR RECONNECTED BEFORE THE END OF THE
- 9. REMOVAL OF BELOW GRADE IMPROVEMENTS: ANY BUILDINGS, FOUNDATIONS, WALLS, FOOTINGS, CONCRETE, ETC. THAT ARE SHOWN TO BE REMOVED SHALL BE REMOVED TO THE FULL DEPTH UNLESS APPROVED BY THE OWNER AND ENGINEER.
- 10. TREE PROTECTION: CONTRACTOR SHALL FOLLOW THE TREE PROTECTION PLAN IF IT HAS BEEN PROVIDED AS A PART OF THIS CONSTRUCTION SET. ANY TREES REMOVED THAT WERE INDICATED TO BE PROTECTED SHALL BE REPLACED BY THE CONTRACTOR AND FINED ACCORDINGLY.

HARLEM PARK LLC

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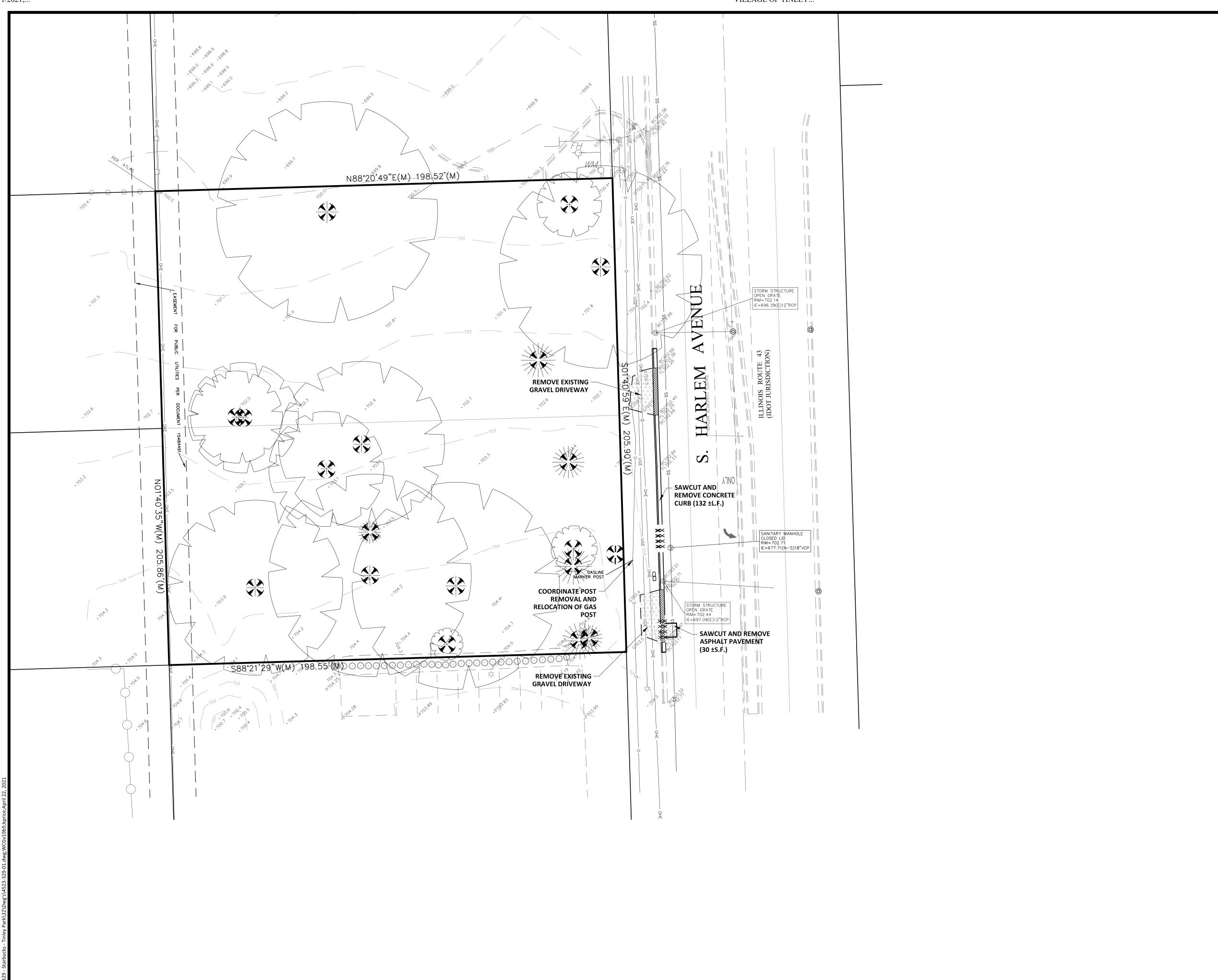
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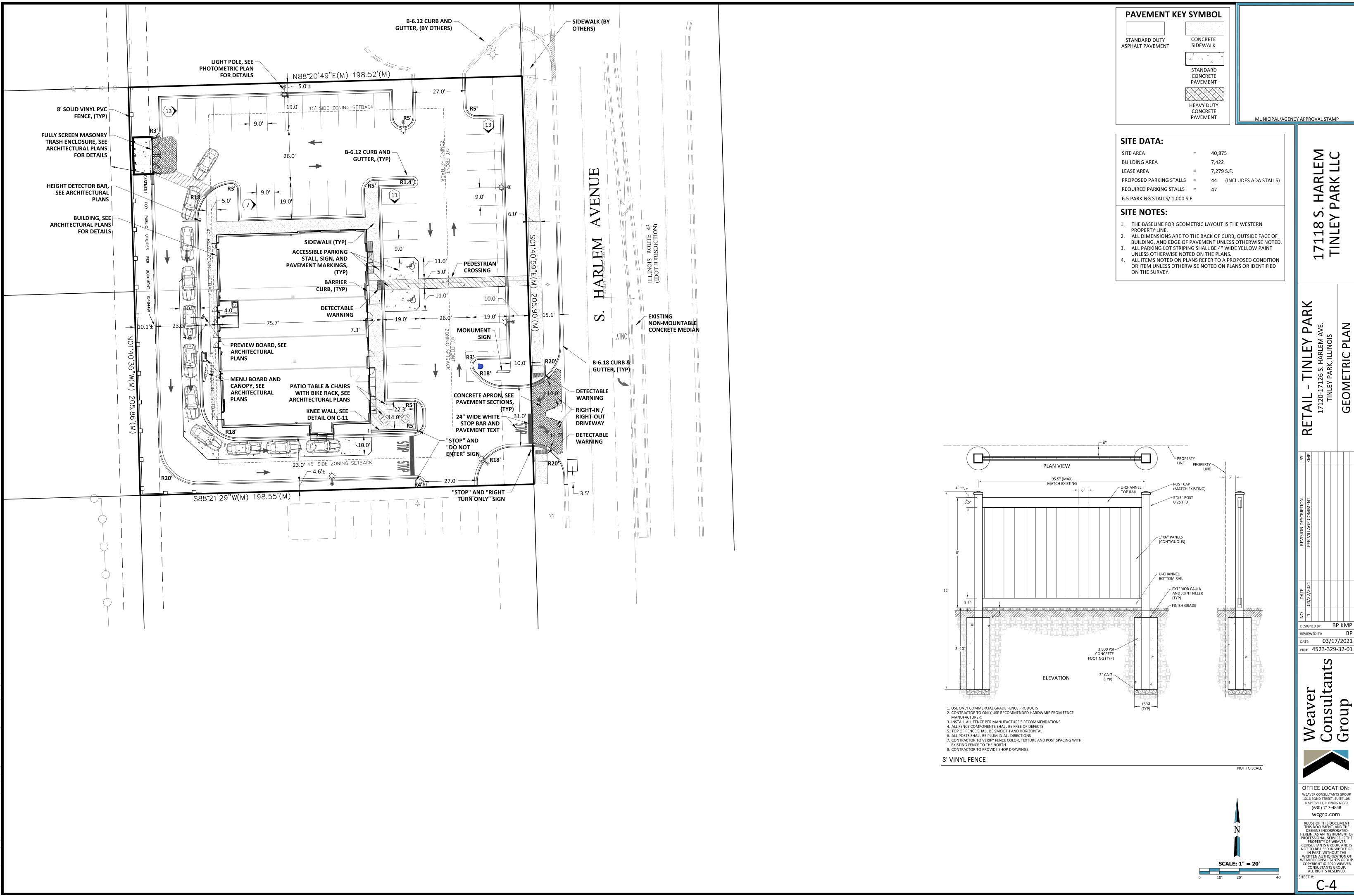
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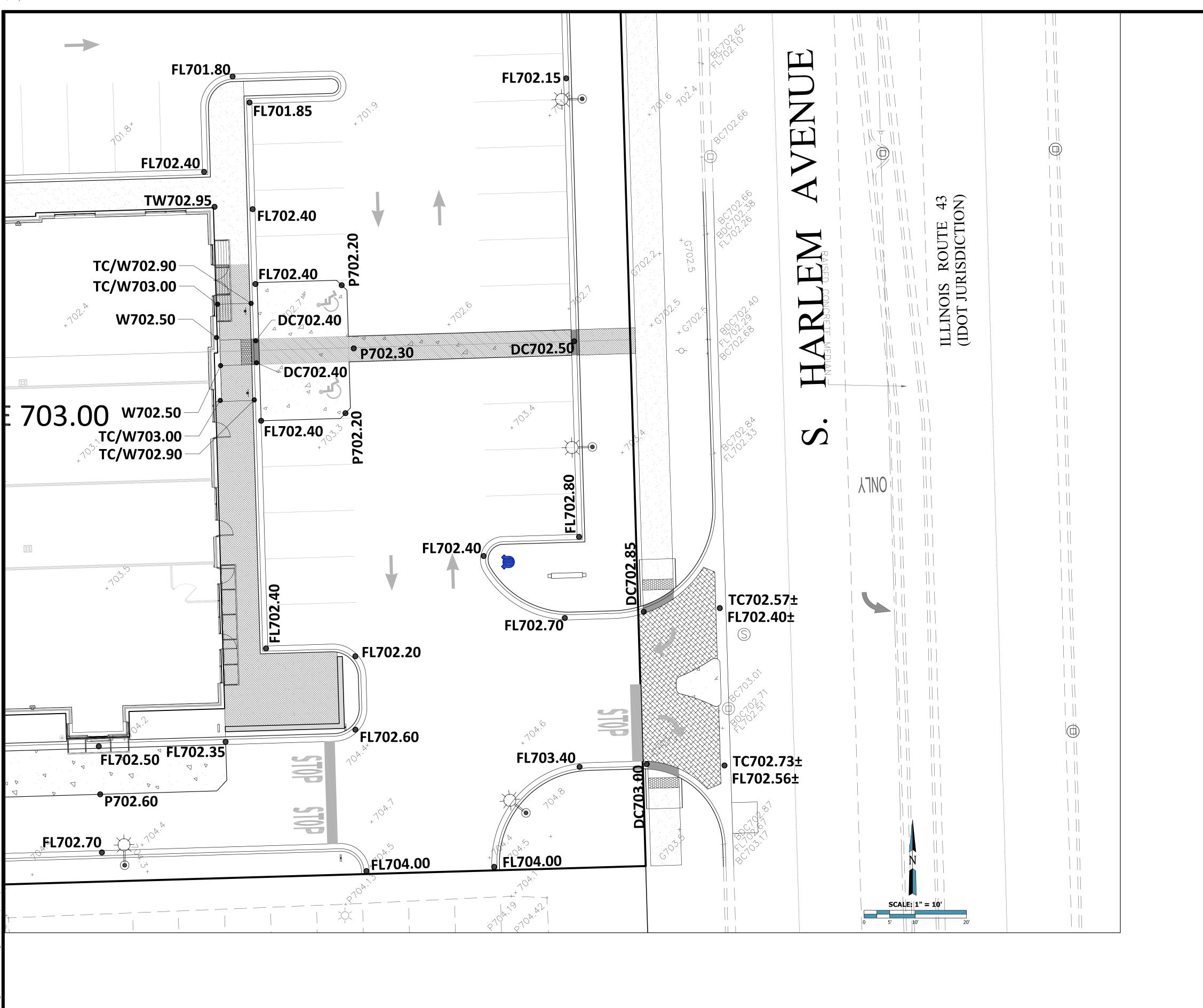
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VILLAGE OF TINLEY... AGENDA - 6/1/2021,...



ACCESSIBLE PATH - KEY

ACCESSIBLE ROUTE TO THE PUBLIC WAY AND ACCESSIBLE PARKING STALLS

ACCESSIBILITY NOTES:

THIS PLAN HAS BEEN INCLUDED FOR SPECIFIC GRADING WITHIN THE ACCESSIBILITY AREAS. SEE GRADING AND STORMWATER PLAN FOR ADDITIONAL GRADES THROUGHOUT THE SITE.

MUNICIPAL/AGENCY APPROVAL STAMP

SPECIFICATIONS - ACCESSIBILITY

- 1. STANDARDS AND SPECIFICATIONS: THE CURRENT EDITION OF THE "ILLINOIS ACCESSIBILITY CODE" (IAC), THE "PROPOSED ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY" (PROWAG), IDOT STANDARDS AND "ADA STANDARDS FOR ACCESSIBLE DESIGN" SHALL GOVERN THIS
- 2. VERIFY SLOPES PRIOR TO CONSTRUCTION: EXISTING GRADES HAVE BEEN INTERPOLATED BASED ON ELEVATIONS PROVIDED ON THE SURVEY. PROPOSED GRADES NEAR EXISTING OR RECENTLY CONSTRUCTED STRUCTURES (BUILDINGS, PAVEMENT, SIDEWALKS, ETC) MAY REQUIRE MODIFICATIONS IN ORDER TO ACHIEVE COMPLIANCE. PRIOR TO INSTALLATION OF ANY ACCESSIBLE ROUTES, THE CONTRACTOR SHALL VERIFY THE SLOPE OF THE SUB-GRADE AND CONCRETE FORMS FOR COMPLIANCE WITH THE MAXIMUM SLOPES ALLOWABLE. IF ANY SLOPES ARE GREATER THAN ALLOWABLE, CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IMMEDIATELY TO RE-DESIGN THE ACCESSIBLE ROUTE.
- 3. DETECTABLE WARNINGS: DETECTABLE WARNINGS ARE REQUIRED ON PRIVATE PROPERTY AS REQUIRED BY VILLAGE OF TINLEY PARK. DETECTABLE WARNINGS ARE REQUIRED IN THE PUBLIC RIGHT OF WAY AT STOP CONTROLLED INTERSECTIONS AND SHALL BE AN INTEGRAL PART OF THE RAMP. WARNINGS SHALL BE RED 2'X5' ARMOR TILES, ADA SOLUTIONS OR APPROVED EQUAL CAST-IN-PLACE INLINE TRUNCATED DOME TILES.
- 4. ACCESSIBLE ROUTES: AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES; PUBLIC STREET AND SIDEWALKS; AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE. ACCESSIBLE ROUTES SHALL NOT HAVE A RUNNING SLOPE OF GREATER THAN 5% NOR A CROSS SLOPE OF GREATER THAN 2%.
- 5. **CURB RAMPS:** CURB RAMPS MAY BE PROVIDED WHEN A SIDEWALK MEETS A CURB. CURB RAMP SLOPES SHALL NOT EXCEED A RUNNING SLOPE OF GREATER THAN 8.33% NOR A CROSS SLOPE OF GREATER THAN 2%. A LANDING NO SHORTER THAN 36" SHALL BE PROVIDED AT THE TOP OF A CURB RAMP.
- 6. ACCESSIBLE PARKING SPACES: ACCESSIBLE PARKING SPACES SHALL BE PROVIDED AS SHOWN ON THE PLANS AND SHALL NOT HAVE A SLOPE THAT IS GREATER THAN 2% IN ANY DIRECTION. ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED BY PROVIDING A PERMANENTLY MOUNTED SIGN. SEE DETAILS FOR STRIPING AND SIGN REQUIREMENTS. 7. RAMPS: AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 5% IS
- CONSIDERED A RAMP AND SHALL COMPLY WITH THE RAMP REQUIREMENTS INCLUDING HANDRAILS. SEE ARCHITECTURAL PLANS FOR RAMP DETAILS.

HARLEM PARK LLC 17118 TINLE

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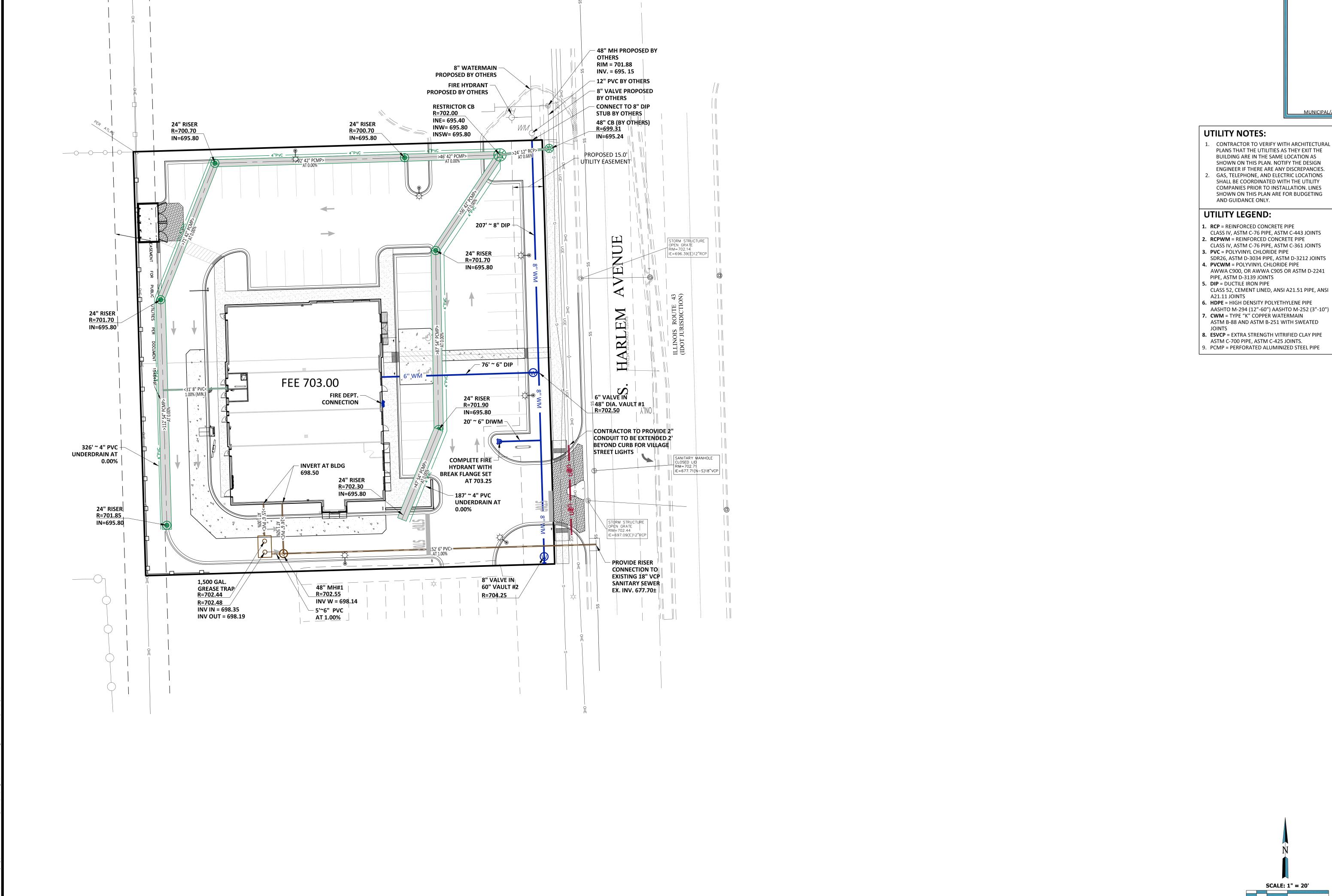
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BUILDING ARE IN THE SAME LOCATION AS SHOWN ON THIS PLAN. NOTIFY THE DESIGN ENGINEER IF THERE ARE ANY DISCREPANCIES. GAS, TELEPHONE, AND ELECTRIC LOCATIONS SHALL BE COORDINATED WITH THE UTILITY

COMPANIES PRIOR TO INSTALLATION. LINES SHOWN ON THIS PLAN ARE FOR BUDGETING

- CLASS IV, ASTM C-76 PIPE, ASTM C-361 JOINTS
- SDR26, ASTM D-3034 PIPE, ASTM D-3212 JOINTS

- CLASS 52, CEMENT LINED, ANSI A21.51 PIPE, ANSI
- **6. HDPE** = HIGH DENSITY POLYETHYLENE PIPE

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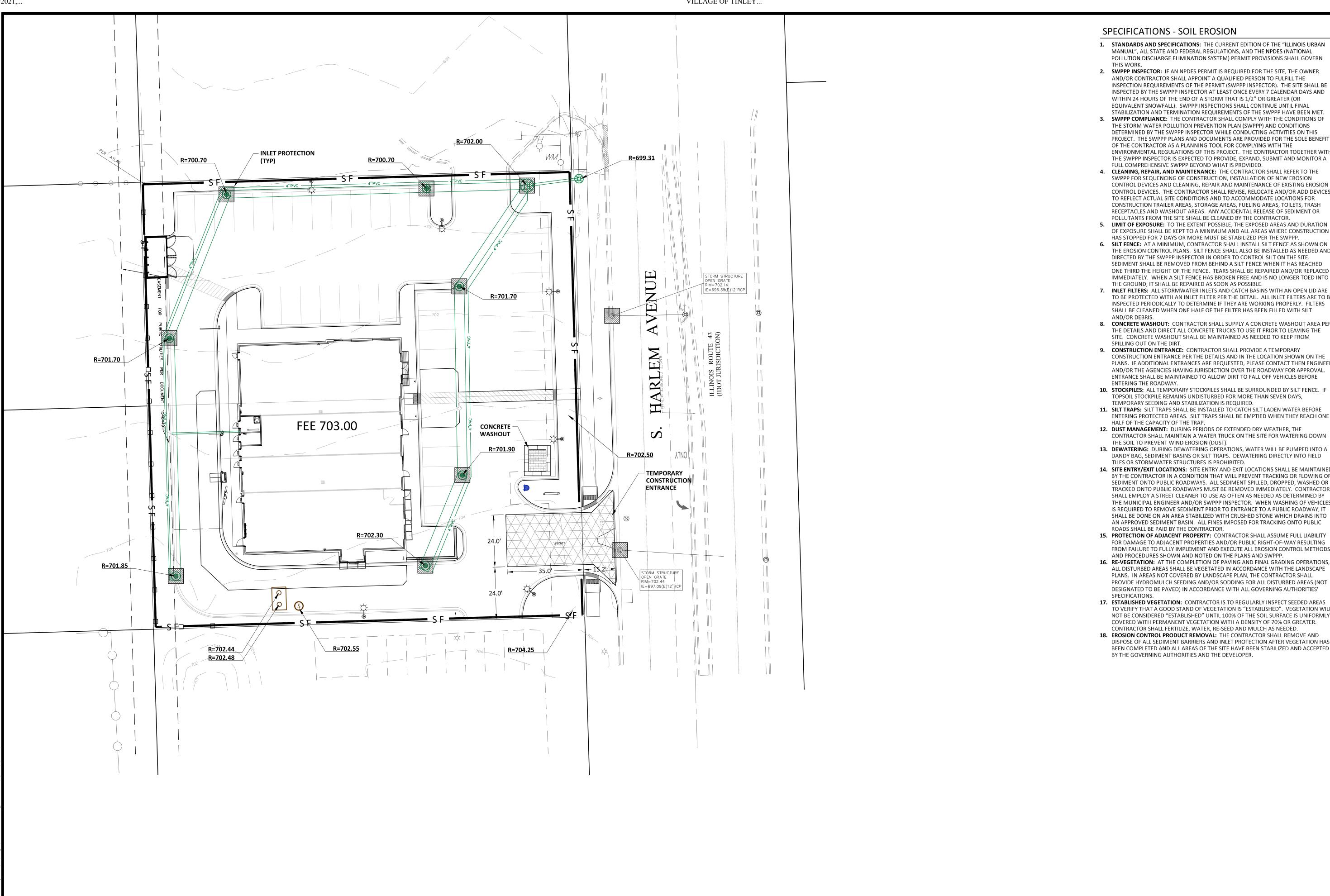
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AGENDA - 6/1/2021,... VILLAGE OF TINLEY...



- 1. STANDARDS AND SPECIFICATIONS: THE CURRENT EDITION OF THE "ILLINOIS URBAN MANUAL", ALL STATE AND FEDERAL REGULATIONS, AND THE NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) PERMIT PROVISIONS SHALL GOVERN
- 2. **SWPPP INSPECTOR:** IF AN NPDES PERMIT IS REQUIRED FOR THE SITE, THE OWNER AND/OR CONTRACTOR SHALL APPOINT A QUALIFIED PERSON TO FULFILL THE INSPECTION REQUIREMENTS OF THE PERMIT (SWPPP INSPECTOR). THE SITE SHALL BE INSPECTED BY THE SWPPP INSPECTOR AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 1/2" OR GREATER (OR EQUIVALENT SNOWFALL). SWPPP INSPECTIONS SHALL CONTINUE UNTIL FINAL STABILIZATION AND TERMINATION REQUIREMENTS OF THE SWPPP HAVE BEEN MET.
- THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND CONDITIONS DETERMINED BY THE SWPPP INSPECTOR WHILE CONDUCTING ACTIVITIES ON THIS PROJECT. THE SWPPP PLANS AND DOCUMENTS ARE PROVIDED FOR THE SOLE BENEFIT OF THE CONTRACTOR AS A PLANNING TOOL FOR COMPLYING WITH THE ENVIRONMENTAL REGULATIONS OF THIS PROJECT. THE CONTRACTOR TOGETHER WITH THE SWPPP INSPECTOR IS EXPECTED TO PROVIDE, EXPAND, SUBMIT AND MONITOR A FULL COMPREHENSIVE SWPPP BEYOND WHAT IS PROVIDED.
- 4. CLEANING, REPAIR, AND MAINTENANCE: THE CONTRACTOR SHALL REFER TO THE SWPPP FOR SEQUENCING OF CONSTRUCTION, INSTALLATION OF NEW EROSION CONTROL DEVICES AND CLEANING, REPAIR AND MAINTENANCE OF EXISTING EROSION CONTROL DEVICES. THE CONTRACTOR SHALL REVISE, RELOCATE AND/OR ADD DEVICES TO REFLECT ACTUAL SITE CONDITIONS AND TO ACCOMMODATE LOCATIONS FOR CONSTRUCTION TRAILER AREAS, STORAGE AREAS, FUELING AREAS, TOILETS, TRASH RECEPTACLES AND WASHOUT AREAS. ANY ACCIDENTAL RELEASE OF SEDIMENT OR POLLUTANTS FROM THE SITE SHALL BE CLEANED BY THE CONTRACTOR.
- 5. LIMIT OF EXPOSURE: TO THE EXTENT POSSIBLE, THE EXPOSED AREAS AND DURATION OF EXPOSURE SHALL BE KEPT TO A MINIMUM AND ALL AREAS WHERE CONSTRUCTION HAS STOPPED FOR 7 DAYS OR MORE MUST BE STABILIZED PER THE SWPPP.
- THE EROSION CONTROL PLANS. SILT FENCE SHALL ALSO BE INSTALLED AS NEEDED AND DIRECTED BY THE SWPPP INSPECTOR IN ORDER TO CONTROL SILT ON THE SITE. SEDIMENT SHALL BE REMOVED FROM BEHIND A SILT FENCE WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE FENCE. TEARS SHALL BE REPAIRED AND/OR REPLACED IMMEDIATELY. WHEN A SILT FENCE HAS BROKEN FREE AND IS NO LONGER TOED INTO THE GROUND, IT SHALL BE REPAIRED AS SOON AS POSSIBLE.
- 7. INLET FILTERS: ALL STORMWATER INLETS AND CATCH BASINS WITH AN OPEN LID ARE TO BE PROTECTED WITH AN INLET FILTER PER THE DETAIL. ALL INLET FILTERS ARE TO BE INSPECTED PERIODICALLY TO DETERMINE IF THEY ARE WORKING PROPERLY. FILTERS SHALL BE CLEANED WHEN ONE HALF OF THE FILTER HAS BEEN FILLED WITH SILT
- 8. CONCRETE WASHOUT: CONTRACTOR SHALL SUPPLY A CONCRETE WASHOUT AREA PER THE DETAILS AND DIRECT ALL CONCRETE TRUCKS TO USE IT PRIOR TO LEAVING THE SITE. CONCRETE WASHOUT SHALL BE MAINTAINED AS NEEDED TO KEEP FROM
- 9. CONSTRUCTION ENTRANCE: CONTRACTOR SHALL PROVIDE A TEMPORARY CONSTRUCTION ENTRANCE PER THE DETAILS AND IN THE LOCATION SHOWN ON THE PLANS. IF ADDITIONAL ENTRANCES ARE REQUESTED, PLEASE CONTACT THEN ENGINEER AND/OR THE AGENCIES HAVING JURISDICTION OVER THE ROADWAY FOR APPROVAL. ENTRANCE SHALL BE MAINTAINED TO ALLOW DIRT TO FALL OFF VEHICLES BEFORE
- 10. STOCKPILES: ALL TEMPORARY STOCKPILES SHALL BE SURROUNDED BY SILT FENCE. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
- 11. SILT TRAPS: SILT TRAPS SHALL BE INSTALLED TO CATCH SILT LADEN WATER BEFORE ENTERING PROTECTED AREAS. SILT TRAPS SHALL BE EMPTIED WHEN THEY REACH ONE
- 12. DUST MANAGEMENT: DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL MAINTAIN A WATER TRUCK ON THE SITE FOR WATERING DOWN
- THE SOIL TO PREVENT WIND EROSION (DUST). 13. DEWATERING: DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO A
- DANDY BAG, SEDIMENT BASINS OR SILT TRAPS. DEWATERING DIRECTLY INTO FIELD TILES OR STORMWATER STRUCTURES IS PROHIBITED.
- 14. SITE ENTRY/EXIT LOCATIONS: SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADWAYS MUST BE REMOVED IMMEDIATELY. CONTRACTOR SHALL EMPLOY A STREET CLEANER TO USE AS OFTEN AS NEEDED AS DETERMINED BY THE MUNICIPAL ENGINEER AND/OR SWPPP INSPECTOR. WHEN WASHING OF VEHICLES IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE TO A PUBLIC ROADWAY, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL FINES IMPOSED FOR TRACKING ONTO PUBLIC ROADS SHALL BE PAID BY THE CONTRACTOR.
- 15. PROTECTION OF ADJACENT PROPERTY: CONTRACTOR SHALL ASSUME FULL LIABILITY FOR DAMAGE TO ADJACENT PROPERTIES AND/OR PUBLIC RIGHT-OF-WAY RESULTING FROM FAILURE TO FULLY IMPLEMENT AND EXECUTE ALL EROSION CONTROL METHODS AND PROCEDURES SHOWN AND NOTED ON THE PLANS AND SWPPP.
- 16. RE-VEGETATION: AT THE COMPLETION OF PAVING AND FINAL GRADING OPERATIONS, ALL DISTURBED AREAS SHALL BE VEGETATED IN ACCORDANCE WITH THE LANDSCAPE PLANS. IN AREAS NOT COVERED BY LANDSCAPE PLAN, THE CONTRACTOR SHALL PROVIDE HYDROMULCH SEEDING AND/OR SODDING FOR ALL DISTURBED AREAS (NOT DESIGNATED TO BE PAVED) IN ACCORDANCE WITH ALL GOVERNING AUTHORITIES'
- 17. ESTABLISHED VEGETATION: CONTRACTOR IS TO REGULARLY INSPECT SEEDED AREAS TO VERIFY THAT A GOOD STAND OF VEGETATION IS "ESTABLISHED". VEGETATION WILL NOT BE CONSIDERED "ESTABLISHED" UNTIL 100% OF THE SOIL SURFACE IS UNIFORMLY COVERED WITH PERMANENT VEGETATION WITH A DENSITY OF 70% OR GREATER.
- CONTRACTOR SHALL FERTILIZE, WATER, RE-SEED AND MULCH AS NEEDED. **18. EROSION CONTROL PRODUCT REMOVAL:** THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL SEDIMENT BARRIERS AND INLET PROTECTION AFTER VEGETATION HAS BEEN COMPLETED AND ALL AREAS OF THE SITE HAVE BEEN STABILIZED AND ACCEPTED BY THE GOVERNING AUTHORITIES AND THE DEVELOPER.

MUNICIPAL/AGENCY APPROVAL STAMP

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DESIGNED BY: BP KMP REVIEWED BY: 03/17/2021 PRJ#: 4523-329-32-01



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VILLAGE OF TINLEY...

NOT TO SCALE

~ 2"X4" CROSS BRACE ~ 2"X4" CROSS BRACE - SILT FENCE, 12" ----SEWER PLAN VIEW - SILT FENCE, SEE DETAIL 2"X2"X4' HARDWOOD STAKES (TYP)

1. 2"X2" NOMINAL HARDWOOD STAKES, 4' MINIMUM LENGTH. DRIVEN INTO GROUND APPROXIMATELY 18" DEEP, 12" FROM INLET FRAME.

2. AREA INSIDE THE FENCE FROM EDGE OF FABRIC TO STRUCTURE, MUST BE STABILIZED WITH EROSION CONTROL BLANKET, TURF REINFORCEMENT MAT, GEOTEXTILE 592 TABLE 2 CLASS 2 OR CA-7 STONE.

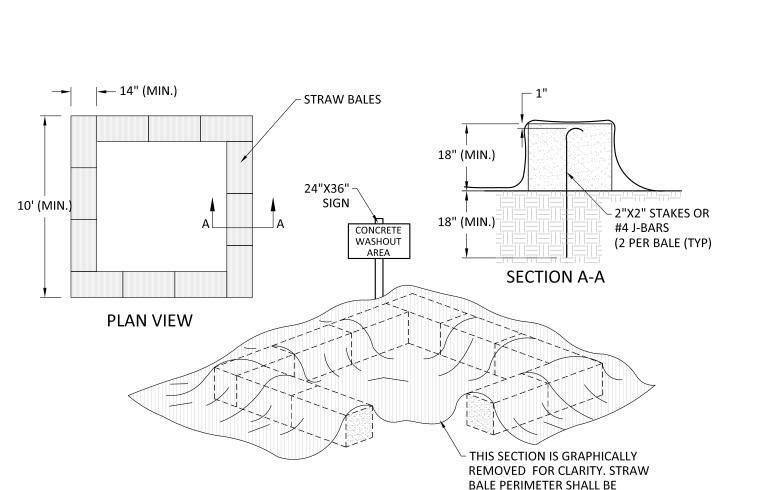
3. MAX HEIGHT OF THE FABRIC ABOVE THE CREST OF THE INLET SHALL BE 30". PLACE THE BOTTOM 6" OF THE FABRIC IN A TRENCH AND BACKFILL WITH 6" OF 95% COMPACTED SOIL. STAKES SHALL BE 4' MAX. SPACING.

A MAINTENANCE SCHEDULE SCHEDULE MUST MAINTAIN A SEDIMENT ACCUMULATION OF LESS THAN 50% OF THE HEIGHT OF THE MONOFILAMENT FABRIC. MONOFILAMENT FABRIC SHALL MEET THE REQUIREMENT OF ASTM 592 GEOTEXTILE TABLE 1 CLASS 4.

MONOFILAMENT FABRIC SHALL BE SECURED TO EACH 2"X2" HARDWOOD STAKE WITH A MINIMUM OF 4 STEEL STAPLE FASTENERS AND WOOD LATH. WOOD LATH SHALL BE A MINIMUM LENGTH OF 10". WIRE FASTENERS SHOULD BE USED IF METAL T-POSTS SHOULD BE USED IF T-POSTS ARE INSTALLED IN PLACE OF

INLET PROTECTION - BARRIER SILT FENCE

NOT TO SCALE



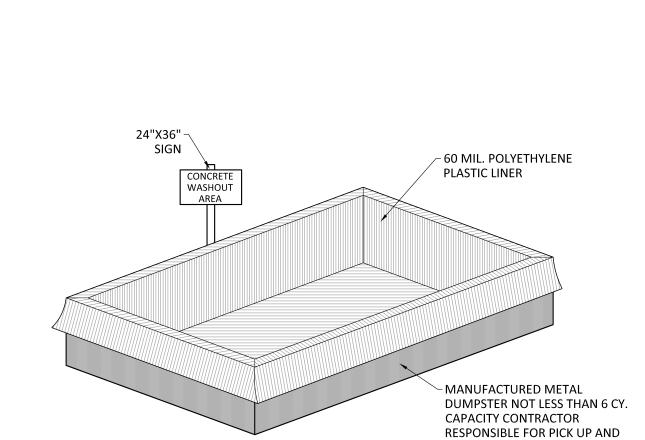
1. FACE SIGN TOWARD NEAREST STREET OR ACCESS POINT.

2. CONCRETE WASHOUT SHALL BE LOCATED BEHIND THE CURB AND 50' (MIN.) FROM NEAREST DRAINAGE INLET OR WATER COURSE.

CONCRETE WASHOUT

NOT TO SCALE

CONTINUOUS. SEE PLAN VIEW



1. FACE SIGN TOWARD NEAREST STREET OR ACCESS POINT. CONCRETE WASHOUT SHALL BE LOCATED BEHIND THE CURB AND 50' (MIN.) FROM

(MAX.)

FENCE -

POST

→ FLOW

LEAST 30 FOR NONWOVEN AND 40 FOR WOVEN.

SUPPORT POST -

ANCHORAGE FROM IN-SITU

AREA OF 3 SQ. IN.

SILT FENCE

WIRE MESH REINFORCEMENT

(OPTIONAL)

- SILT FENCE,

1. FILTER FABRIC SHALL MEET GEOTEXTILE 592 TABLE 1 OR 2, CLASS 1 WITH EQUIVLENT OPENING SIZE OF AT

FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POSTS WITH A MINIMUM CROSS SECTION

– TOE SILT FENCE IN 6" DEEP

DIRECTION OF FLOW (MIN.)

AND 6" TOWARD

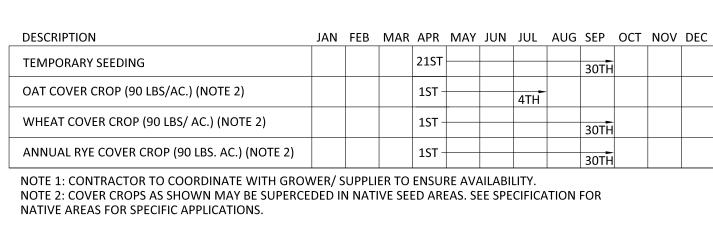
CONCRETE WASHOUT IN DUMPSTER - OPTION

NEAREST DRAINAGE INLET OR WATER COURSE.

DISPOSAL

DELIVERY WITH RECYCLING &

NOT TO SCALE



CONSTRUCTION SEQUENCE

- MOBILIZE TO THE SITE. INSTALL SOIL EROSION CONTROL MEASURES.
- CONSTRUCT A TEMPORARY CONSTRUCTION ENTRANCE/
- 4. TOPSOIL STRIPPING AND STOCKPILING. PROVIDE TEMPORARY SEEDING ON STOCKPILES AND ALL OTHER AREAS OF THE SITE THAT WILL REMAIN UNDISTURBED FOR 30 DAYS OR MORE. REFER TO LANDSCAPE PLAN FOR SEEDING.
- 5. MASS GRADING OF DISTURBED SITE. INSTALLATION OF BUILDING FOUNDATIONS.
- INSTALLATION OF ALL UNDERGROUND UTILITIES. INSPECT SOIL EROSION CONTROL MEASURES AND
- MAINTAIN OR REPLACE AS NECESSARY. 9. INSTALLATION OF PARKING LOT SUB-BASE MATERIAL.
- 10. INSTALLATION OF PARKING LOT BASE COURSE
- 11. INSTALLATION OF PERMANENT SOIL STABILIZATION MEASURES AND RE-SPREAD TOPSOIL. 12. INSTALLATION OF PARKING LOT SURFACE COURSE
- MATERIALS. 13. INSTALLATION OF LANDSCAPE. 14. REMOVE TEMPORARY SOIL EROSION CONTROL
- AND THE ESTABLISHMENT OF ADEQUATE VEGETATIVE 15. ALL STORM SEWERS, CATCH BASINS, PAVEMENT

MEASURES AFTER FINAL SOIL STABILIZATION MEASURES

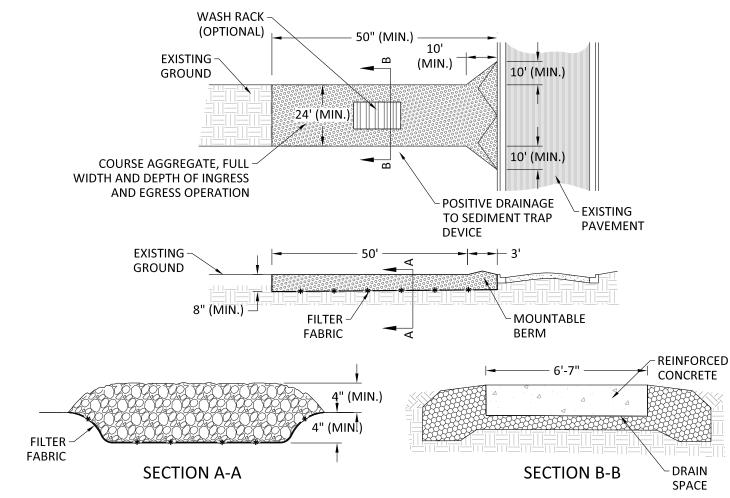
SURFACES AND/ OR DETENTION FACILITIES ARE TO BE

- CLEANED PRIOR TO FINAL INSPECTION. 16. ALL MAINTENANCE OF THE EROSION CONTROL
- MEASURES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

MATERIALS

- CONTRACTOR IS RESPONSIBLE TO VERIFY AND ADJUST THE SEQUENCE OF OPERATION IF NECESSARY. 2. SEE LANDSCAPE PLAN FOR PLANTING DETAILS, SOIL PREPARATION, AMENDMENTS, PLANT LISTS, LANDSCAPE
- TEMPORARY SEED SHALL CONFORM TO THE "INDIANA HANDBOOK FOR EROSION CONTROL IN DEVELOPING AREAS" FOR ALL AREAS TO BE DISTURBED AREAS LESS THAN A YEAR OR BARREN AREAS THAT NEED TO BE
- 4. CONTRACTOR TO UTILIZE MULCH FOR SEED PROTECTION, SOIL PROTECTION, DUST CONTROL, OR STABILIZATION AS NEEDED AND FOR WHEN SEEDING CANNOT BE PERFORMED.

TEMPORARY SEEDING TABLE AND CONSTRUCTION SEQUENCE



1. FILTER FABRIC SHALL MEET ASTM 592 GEOTEXTILE. TABLE 1 OR 2 FOR CLASS I, II, OR IV. AND SHALL BE PLACED

OVER THE CLEARED AREA PRIOR TO PLACING STONE. 2. RECLAIMED CONCRETE OR COURSE AGGREGATE SHALL MEET EITHER IDOT GRADATION CA-1, CA-2, CA-3, OR CA-4 AND BE PLACED ACCORDING TO CONSTRUCTION SPECIFICATION 25 ROCKFILL USING PLACEMENT

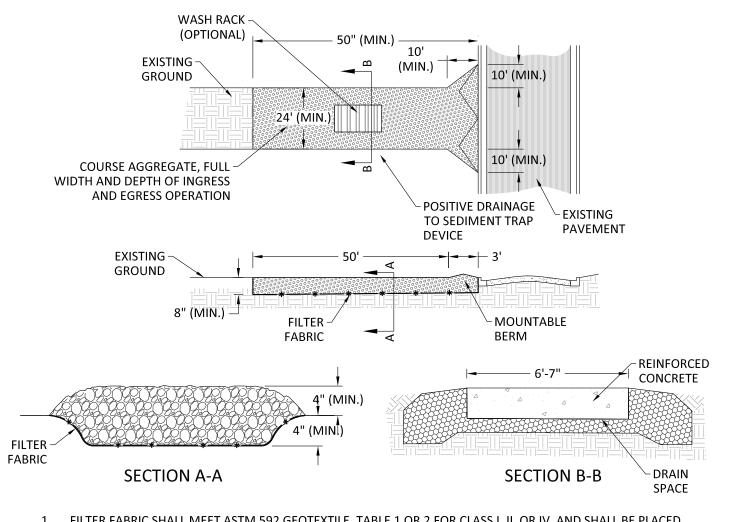
METHOD I OR CLASS III COMPACTION. 3. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHALL CONSTRUCTED ACCORDING TO

MANUFACTURER'S SPECIFICATIONS.

4. IF WASH RACKS ARE USED, THEY SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S

TEMPORARY CONSTRUCTION ENTRANCE

NOT TO SCALE



~ SUPPORT SYSTEM

WITH LIFT HANDLES

- OVERFLOW

- PREFABRICATED INLET

FILTER FLEXSTORM

(OR APPROVED EQ.)

CATCH-IT

PROPOSED FRAME AND

- STORM

SEWER

STRUCTURE

NOT TO SCALE

1. FILTER FABRIC SHALL MEET ASTM 592 GEOTEXTILE. TABLE 1 OR 2 FOR CLASS I, II, OR IV. AND SHALL BE PLACED OVER THE CLEARED AREA PRIOR TO PLACING STONE.

2. RECLAIMED CONCRETE OR COURSE AGGREGATE SHALL MEET EITHER IDOT GRADATION CA-1, CA-2, CA-3, OR CA-4 AND BE PLACED ACCORDING TO CONSTRUCTION SPECIFICATION 25 ROCKFILL USING PLACEMENT METHOD I OR CLASS III COMPACTION.

3. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHALL CONSTRUCTED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

4. IF WASH RACKS ARE USED, THEY SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S

TEMPORARY CONSTRUCTION ENTRANCE

INLET FILTER PROTECTION - BASKET

- EROSION CONTROL BLANKET JOINT **OVERLAP** - BLANKET STAKES, 18" O.C. (MIN.) FLOW DIRECTION 6" (MIN.) JOINT

PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. BEGIN AT THE TOP OF THE SLOPE (OR CHANNEL) BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE

TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. ROLL THE BLANKETS DOWN (STARTING AT DOWNSTREAM PROCEEDING UPSTREAM) HORIZONTALLY ACROSS THE SLOPE.

4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH AN APPROXIMATELY (MIN) 4" OVERLAP. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY A (MIN) 6" OVERLAP. USE A DOUBLE ROW OF STAGGERED STAPLES 4" APART TO

6. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4" APART OVER ENTIRE WIDTH OF THE CHANNEL. PLACE A SECOND ROW 4" BELOW THE FIRST ROW IN A STAGGERED PATTERN.

7. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

EROSION CONTROL BLANKET

NOT TO SCALE

NOT TO SCALE

STRUCTURAL ~

SOIL BACKFILL

4" COMPACTED BASE -

LEGEND NOTES

UNDISTURBED -

SUB-GRADE

1. USE STNDARD PITCH GUTTERS WHERE WATER IS DIVERTED TOWARD CURB.

3. PROVIDE EXPANSION JOINTS AT ALL POINT OF CURVATURE, AT 10' ON EITHER SIDE OF UTILITY TRENCHES

4. PROVIDE HAND TOOLED CONTRACTION JOINTS IN BETWEEN EXPANSION JOINTS AT DISTANCES NOT TO

COMBINATION CONCRETE CURB AND GUTTER - STANDARD PITCH

TOP OF CURB -GRADE (TC)

EXPANSION -

SLOPE —

2. LONGITUDINAL SLOPE SHALL BE 0.50% MIN.

OR STRUCTURES AND AT A DISTANCE NOT TO EXCEED 50'

5. PROVIDE LIGHT BROOM FINISH IN DIRECTION OF FLOW.

COURSE, SEE PAVEMENT

STRUCTURAL -

SOIL BACKFILL

FOR DETAILS)

SUB-GRADE

TO EXCEED 20'

UNDISTURBED

4" COMPACTED BASE -

(SEE PAVEMENT SECTION

WHERE SLOPE=5%

TOWARD CURB

PAVEMENT TO SLOPE

- EDGE OF PAVEMENT GRADE (EOP)

EXPANSION JOINT IF

DUAL (2) REBAR AT

SEE DETAILS

EXPANSION JOINTS,

ADJACENT TO CONCRETE

(JOINT TO BE FULL DEPTH)

- UNLESS OTHERWISE

 ASPHALT OR CONCRETE PAVEMENT, SEE PLANS

AND PAVEMENT LEGEND

NOTED ON THE

FOR DETAILS

SLOPE=6% EXCEPT AT

ACCESSIBLE ROUTE

WHERE SLOPE=5%

- EDGE OF PAVEMENT

- PAVEMENT TO SLOPE

AWAY FROM CURB

EXPANSION JOINT IF

- DUAL (2) REBAR AT

EXPANSION JOINT,

SEE DETAIL

ADJACENT TO CONCRETE

(JOINT TO BE FULL DEPTH)

NOT TO SCALE

GRADE (EOP)

MUNICIPAL/AGENCY APPROVAL STAMP

۵ TINLE

BP KMP ESIGNED BY: EVIEWED BY: 03/17/2021 PRJ#: 4523-329-32-01

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C-10

ASPHALT SECTION SECTION ASPHALT CONCRETE CONCRETE DESCRIPTION DESCRIPTION DESCRIPTION SECTION DESCRIPTION SECTION 5" CONCRETE PAVEMENT CONCRETE 4" BASE COURSE SIDEWALK COMPACTED SUB-BASE TOP OF CURB -TOP OF CURB -GRADE (TC) GRADE (TC) 1.5" ASPHALT SURFACE COURSE 6" CONCRETE PAVEMENT STANDARD - FLOW LINE 2.5" ASPHALT BINDER COURSE STANDARD EXPANSION JOINT IF EXPANSION JOINT IF - FLOW LINE DUTY 4" BASE COURSE TOP OF CURB -CONCRETE ADJACENT TO CONCRETE GRADE (FL) ADJACENT TO CONCRETE GRADE (FL) 8" BASE COURSE PAVEMENT GRADE (TC) PAVEMENT COMPACTED SUB-BASE **-**− 6"->|{-− 12" --(JOINT TO BE FULL DEPTH) (JOINT TO BE FULL DEPTH) - SLOPE=6% EXCEPT AT COMPACTED SUB-BASE - SLOPE=6% EXCEPT AT **EXPANSION JOINT IF-**ACCESSIBLE ROUTE ACCESSIBLE ROUTE

ALL ASPHALT SURFACE COURSE SHALL BE: IL-12.5, BITUMINOUS CONCRETE SURFACE COURSE, SUPERPAVE, N50

CONCRETE

PAVEMENT

MIX C, 4% AIR VOIDS, MAX. RAP ALLOWED 15%, PG 64-22 2. ALL ASPHALT BINDER COURSE SHALL BE: IL-19.0 BITUMINOUS CONCRETE BINDER COURSE, SUPERPAVE, N50, 4% AIR VOIDS, MAX. RAP ALLOWED 25%, PG 64-22 3. ALL CONCRETE SHALL BE: 4,000 PSI AT 14 DAYS, LIMESTONE AGGREGATE, 5 - 7% AIR ENTRAINMENT, 4" SLUMP

LIMIT. PROVIDE CONCRETE SEALER AND A LIGHT BROOM FINISH. 4. ALL BASE COURSE SHALL BE: CRUSHED STONE OR LIMESTONE (CA-6) COMPACTED TO 95% STANDARD

LABORATORY DENSITY. 5. ALL SUB-BASE SHALL BE: PROOF ROLLED TO THE SATISFACTION OF THE OWNER (OR OWNER'S REPRESENTATIVE),

6. PRIOR TO THE PLACEMENT OF THE BINDER COURSE OF ASPHALT, THE BASE COURSE SHALL BE CLEANED AND A PRIME COAT SHALL BE APPLIED AT THE RATE OF 0.25 TO 0.50 GAL/SY PER IDOT STANDARDS.

7. PRIOR TO THE PLACEMENT OF THE SURFACE COURSE OF ASPHALT, THE BINDER COURSE SHALL BE CLEANED AND

A TACK COAT SHALL BE APPLIED AT A RATE OF 0.10 GAL/SY PER IDOT STANDARDS.

8. SEE PAVING SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

PAVEMENT LEGEND

NOT TO SCALE

8" CONCRETE PAVEMENT

COMPACTED SUB-BASE

6" BASE COURSE

- #6 x 18" LONG SMOOTH EXPOXY COATED BARS WITH CAP ALONG CURBS THICKENED EDGE AT -**EXPANSION JOINT** ~ SELF LEVELING JOINT ~ #6 X 24" LONG SMOOTH CONTRACTION EXPANSION -**EXPOXY COATED BARS** WITH EXPANSION CAP AT 24" O.C. ¹/₂ THICKNESS OF CONCRETE — 30" (MIN.) — PREFORMED EXPANSION -

CONTRACTION JOINTS

EXPANSION JOINTS 1. $\frac{1}{2}$ " DEEP FOR CONCRETE PAVEMENT, 2" 1. ALL EXPANSION JOINTS TO BE $\frac{1}{2}$ " PREMOLDED JOINTS.

JOINT FILLER BETWEEN

COLD JOINTS

DEEP FOR CONCRETE SIDEWALKS. 2. TOOLED JOINTS WITH $\frac{1}{4}$ " JOINT RADII.

3. $\frac{1}{4}$ " MAXIMUM WIDTH.

JOINT SEALANT INSTALLATION. 4. FIBER BOARD SHALL BE EXCLUDED AT ACCESSIBLE RAMPS ABUTTING A CURB.

3. CLEAN ALL DEBRIS WITH HIGH PRESSURE AIR BEFORE

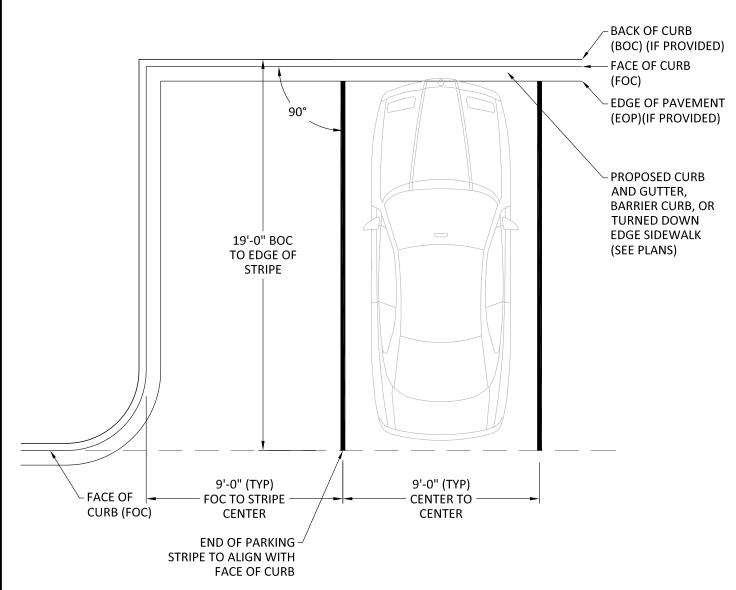
5. EXPANSION JOINTS SHALL BE PROVIDED AROUND THE PERIMETER OF ANY BLOCKOUT IN THE CONCRETE 1. SEE PAVEMENT SECTIONS FOR DETAILS.

2. JOINT TO BE FULL DEPTH OF CONCRETE.

2. SIDEWALK WIDTHS MAY VARY. 3. ALL REINFORCEMENT BARS SHALL BE GRADE 40 KSI DEFORMED REINFORCEING STEEL. SIZING AND SPACING SHALL BE IN ACCORDANCE WITH STATE DOT SPECIFICATIONS.

CONCRETE JOINTS

NOT TO SCALE



1. ALL STRIPING SHALL BE DOUBLE COATED YELLOW PAVEMENT PAINT

PARKING STALL STRIPING - 90 DEGREE

NOT TO SCALE

ADJACENT TO CONCRETE WHERE SLOPE=5% (JOINT TO BE FULL DEPTH) EDGE OF PAVEMENT PROPOSED ~ GRADE (EOP) PAVEMENT EXPANSION JOINT IF 4" COMPACTED BASE ADJACENT TO CONCRETE COURSE, SEE PAVEMENT (JOINT TO BE FULL DEPTH) LEGEND NOTES - DUAL (2) REBAR AT UNDISTURBED -EXPANSION JOINT, SUB-GRADE SEE DETAIL

1. USE REVERSED PITCH GUTTERS WHERE WATER IS DIVERTED AWAY FROM CURB AND STANDARD

PITCH GUTTERS WHERE WATER DRAINS TOWARD CURB. 2. LONGITUDINAL SLOPE SHALL BE 0.30% SLOPE MIN.

3. PROVIDE EXPANSION JOINTS AT ALL POINT OF CURVATURE, AT 10' ON EITHER SIDE OF UTILITY

TRENCHES OR STRUCTURES AND AT A DISTANCE NOT TO EXCEED 50'.

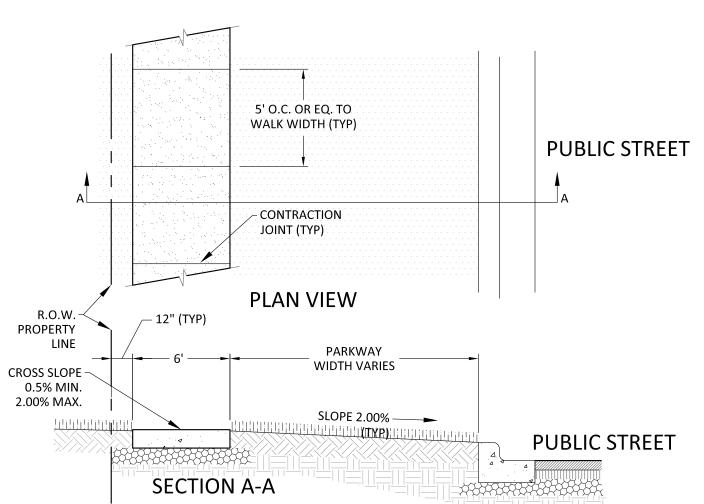
4. PROVIDE HAND TOOLED CONTRACTION JOINTS IN BETWEEN EXPANSION JOINTS AT DISTANCES NOT TO EXCEED 20'.

5. PROVIDE LIGHT BROOM FINISH IN DIRECTION OF FLOW.

6. FIBER BOARD SHALL BE EXCLUDED AT ACCESSIBLE RAMPS

COMBINATION CONCRETE CURB AND GUTTER - DEPRESSED

NOT TO SCALE



1. AREAS WITHIN 10' OF A DRIVEWAY APPROACH (PROPOSED OR FUTURE) SHALL BE CONSTRUCTED PER

CONCRETE APRON CROSS SECTIONS SEE PAVEMENT SECTIONS DETAIL. 2. SIDEWALK INTERSECTIONS SHALL BE CAST MONOLITHICALLY WITH JOINT LINES PLACED

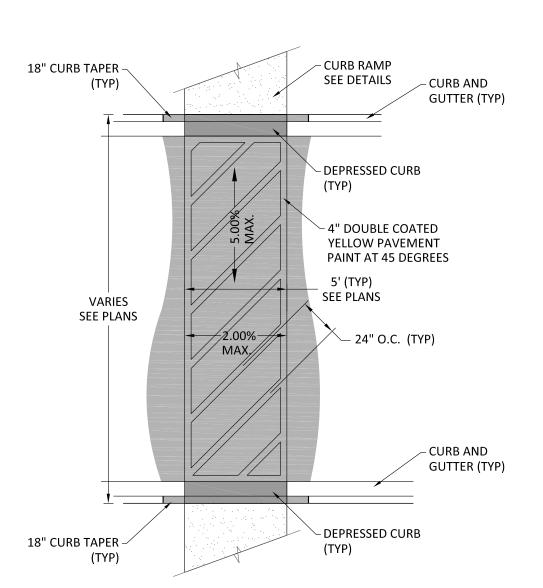
PERPENDICULAR TO THE PATH.

3. PROVIDE EXPANSION JOINTS AT 50' O.C. INTERVALS.

4. PROVIDE CONTRACTION JOINTS 5' O.C. OR SHALL BE EQUAL TO THE WALK WIDTH (TYP). 5. WHERE CONNECTION TO EXISTING CONCRETE WALKS, CONTRACTOR SHALL SAWCUT AT THE NEAREST

CONCRETE PUBLIC SIDEWALK

NOT TO SCALE

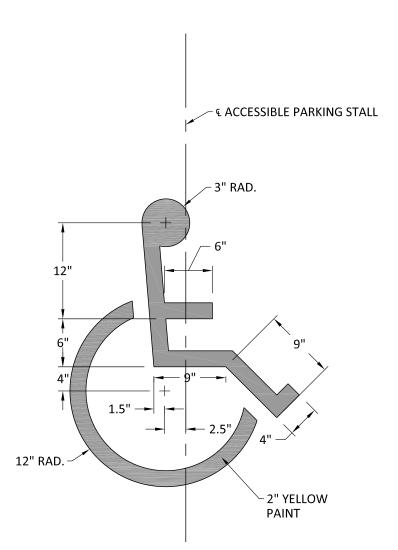


1. ALL STRIPING SHALL BE DOUBLE COATED YELLOW PAVEMENT PAINT

ACCESSIBLE CROSSWALK

NOT TO SCALE

NOT TO SCALE



1. SEE PLAN FOR QUANTITIES AND LOCATIONS. 2. BOTTOM OF SYMBOL SHALL ALIGN WITH END OF STALL.

ACCESSIBLE PARKING STALL PAVEMENT SYMBOL

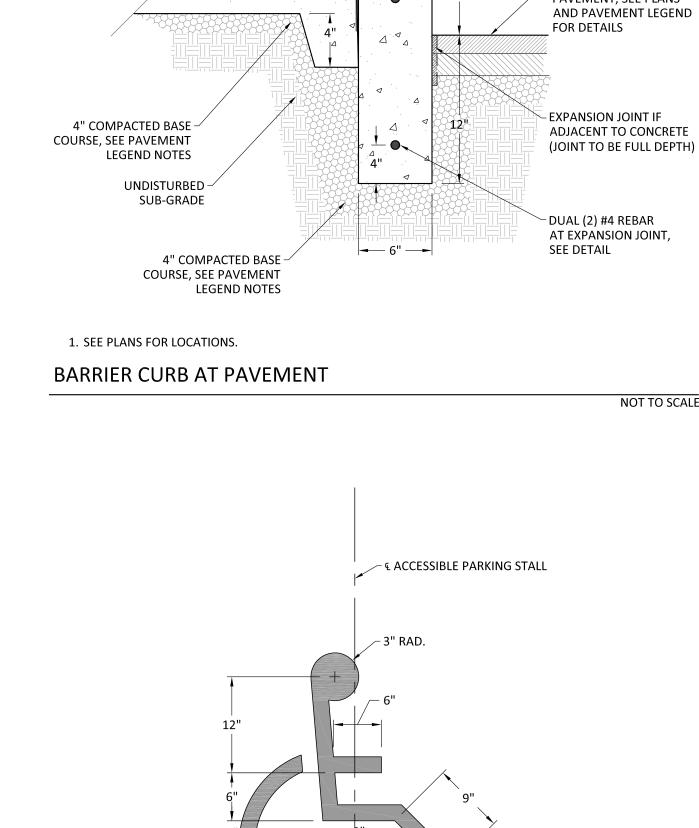
NOT TO SCALE

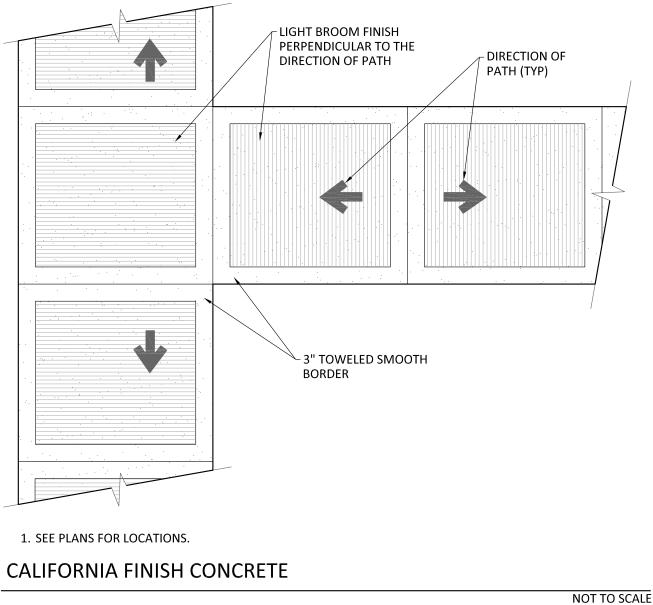
1. SIGNS SHALL BE VERTICALLY MOUNTED ON A POST OR WALL AT FRONT CENTER OF THE

2. ACCESSIBLE PARKING STALLS SLOPES NOT TO EXCEED 2.00% IN ANY DIRECTION.

ACCESSIBLE PARKING STALL - 90 DEG 11' x 5'

NOT TO SCALE





1. USE REVERSED PITCH GUTTERS WHERE WATER IS DIVERTED AWAY FROM CURB.

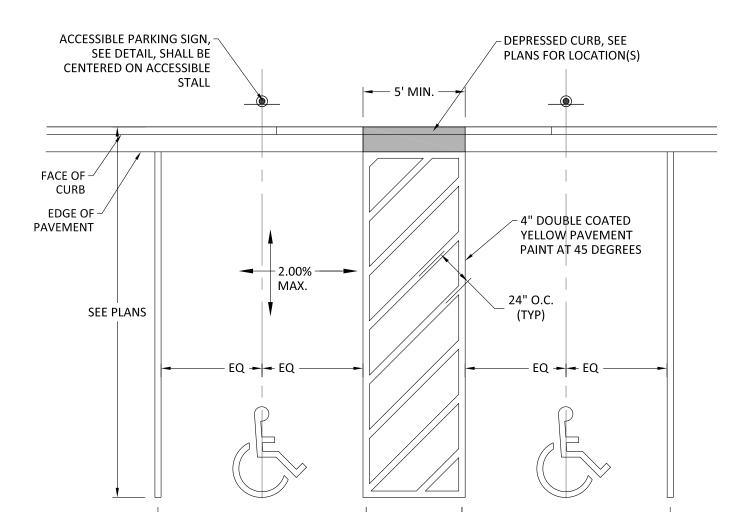
TRENCHES OR STRUCTURES AND AT A DISTANCE NOT TO EXCEED 50'

4. PROVIDE LIGHT BROOM FINISH IN DIRECTION OF FLOW.

2. PROVIDE EXPANSION JOINTS AT ALL POINT OF CURVATURE, AT 10' ON EITHER SIDE OF UTILITY

3. PROVIDE HAND TOOLED CONTRACTION JOINTS IN BETWEEN EXPANSION JOINTS AT DISTANCES NOT

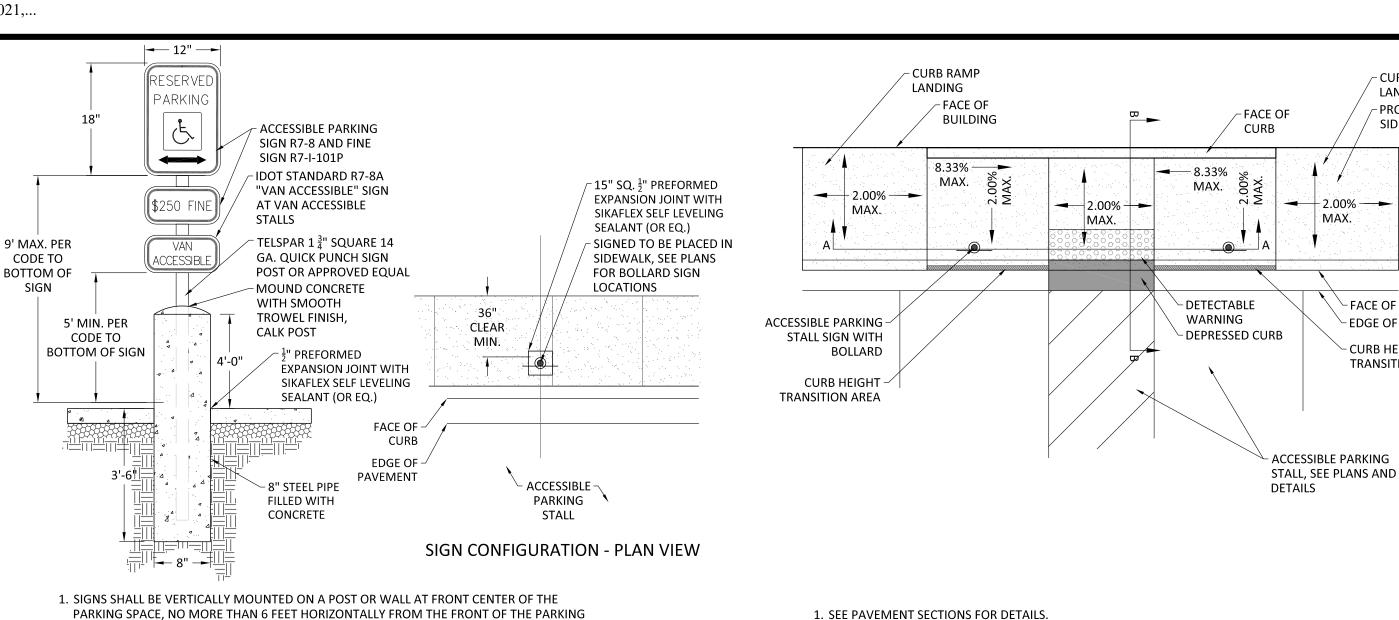
COMBINATION CONCRETE CURB AND GUTTER - REVERSE PITCH



PARKING SPACE, NO MORE THAN 6 FEET HORIZONTALLY FROM THE FRONT OF THE PARKING

- CURB RAMP

LANDING, SEE NOTES



1. SEE PAVEMENT SECTIONS FOR DETAILS.

FRAME AND GRATE **SEE SPECIFICATIONS**

12" WIDE STEEL -

SPECIFICATIONS)

STEPS (SEE

4" FOR 48" DIA.

VALVE, SEE -

NOTE 6

6" (MIN.)

3. USE ECCENTRIC CONE ONLY.

VALVE VAULT

CONCRETE -

BLOCKING

2. VALVE VAULTS MUST CONFORM TO ASTM C-478

4. VAULT SECTIONS TO BE TONGUE AND GROOVED.

5. MECHANICAL JOINT BOLTS AND NUTS SHALL BE COMPOSED OF CORE-TEN.

7. AUXILIARY VALVE TO BE CLOW, AMERICAN, WATEROUS, KENNEDY, OR APPROVED EQUAL

5.1. ALL HEXAGONAL BOLTS AND NUTS TO BE STAINLESS STEEL

5" FOR 60" DIA.

FLEXIBLE MANHOLE PIPE -

BOOT WITH 2 STAINLESS

BANDS PER ASTM C-923

(EACH PIPE PENETRATION)

ON-SITE PARALLEL CURB RAMP - PLAN VIEW

→ DIAMETER -

2. SEE PLANS FOR SIDEWALK WIDTHS. 3. IN NO CASE SHALL THE ACCESSIBLE PATH BE LESS THAN 36", ALL LANDING SHALL BE 60"x60"

∠ 2 (MAX.) PRECAST CONCRETE

(8" MAX.)

PRECAST CONE

- VALVE VAULT SHALL BE

CONSTRUCTED WITH

CONCRETE SECTIONS

WATERMAIN

PRECAST REINFORCED

TOP SECTION

- WATERTIGHT

JOINTS (TYP)

"MEGALUG"

RESTRAINT WITH

BEDDING

- PRECAST BASE RISER SECTION

WITH INTEGRAL FLOOR

1. VALVE VAULT DIAMETER SHALL BE 48" FOR 8" AND SMALLER VALVES AND 60" FOR 10" AND LARGER VALVES.

6" FOR 48" DIA.

8" FOR 60" DIA.

~ WATERMAIN

- 4' (MIN.) STRUCTURE

- UNDISTURBED

SUB-GRADE

-FLEXIBLE WATERTIGHT

CONNECTION PER

ASTM C-923

PLAN VIEW

COR-TEN BOLTS

ADJUSTING RINGS (MORTARED)

SECTION B-B

CURB RAMP

8.33% MAX

5' MIN.

LANDING

- DETECTABLE

¹/₂" WIDE EXPANSION

- DEPRESSED CURB

JOINT WITH NO FIBER

WARNING

BOARD

CURB RAMP

LANDING

SECTION A-A

SEE CURB ENLARGEMENT

✓ FACE OF CURB

- ACCESSIBLE BUILDING, SEE CURB PARKING STALL SIGN ENLARGEMENT AND BOLLARD ~ CURB RAMP LANDING, SEE NOTES CLEAR MIN. ∠ DETECTABLE WARNING ~ FACE OF CURB PAINTED CURB -8.33% TAPERS SEE NOTES MAX DEPRESSED -CURB PAINTED CURB -EDGE OF -**TAPERS** PAVEMENT SEE NOTES FACE OF -ACCESSIBLE ACCESS CURB AISLE PAVEMENT CURB RAMP -STRIPING LANDING AREA, SEE NOTES

PROPOSED CURB ALONG

1. 60"X60" LANDINGS AREA SHALL BE PROVIDED AT THE TOP AND BOTTOM OF CURB RAMPS, LANDINGS SHALL NOT EXCEED 2.00% SLOPE IN ANY DIRECTIONS.

- 2. SIGN POST AND BOLLARD SHALL BE LOCATED PER PLAN BUT IN NO CASE SHALL SIGN OR
- BOLLARD ENCROACH THE 3' MIN. CLEARANCE ALONG AN ACCESSIBLE PATH. 3. CURB TAPERS SHALL BE PAINTED WITH YELLOW PAVEMENT PAINT ON FACE AND 2" ON TOP OF
- ON-SITE PARALLEL CURB RAMP ISOMETRIC

CURB ENLARGEMENT

PROPOSED SIDE CURB

ALONG BUILDING, SEE

CURB ENLARGEMENT

BUILDING FACE ¬

CONCRETE CURB -

18" MIN.

12" MIN.

CURB RAMP

8.33% MAX.

CURB RAMP

LANDING

6" (TYP.)

VARIES

NOT TO SCALE ~ 2 (MAX.) PRECAST CONCRETE **ADJUSTING RINGS (MORTARED)** FRAME AND GRATE -SEE SPECIFICATIONS - PROVIDE EXTERNAL CHIMNEY SEAL ON NEW MANHOLES AND INTERNAL CHIMNEY SEAL ON EXISTING MANHOLES, WHERE NECESSARY. EXTERNAL CHIMNEY SEALS TO BE PLACED 12" WIDE STEEL STEPS -11" WHEN RIM IS ADJUSTED TO FINAL GRADE. (SEE SPECIFICATIONS) WATERTIGHTS JOINTS (TYP) 4" FOR 48" DIA. (TYP) 5" FOR 60" DIA. → DIAMETER — - JOINTS SHALL BE EXTERNALLY SEALED FLEXIBLE MANHOLE PIPE WITH A 6" OR 9" WIDE BAND OF RUBBER AND MASTIC CONFORMING **BOOT WITH 2 STAINLESS** BANDS PER ASTM C-923 TO ASTM C-877 (TYPE 2 OR TYPE 3) (EACH PIPE PENETRATION) CONCRETE BENCH SLOPE - PRECAST BASE RISER SECTION 1" PER FOOT (MIN.) WITH INTEGRAL FLOOR UNDISTURBED -- 4" (MIN.) STRUCTURE SUB-GRADE BEDDING

2. FOR EVERY 6 ACCESSIBLE STALLS (OR FRACTION THEREOF) AT LEAST ONE STALL SHALL BE VAN

ACCESSIBLE PARKING SIGN AT STALL IN SIDEWALK

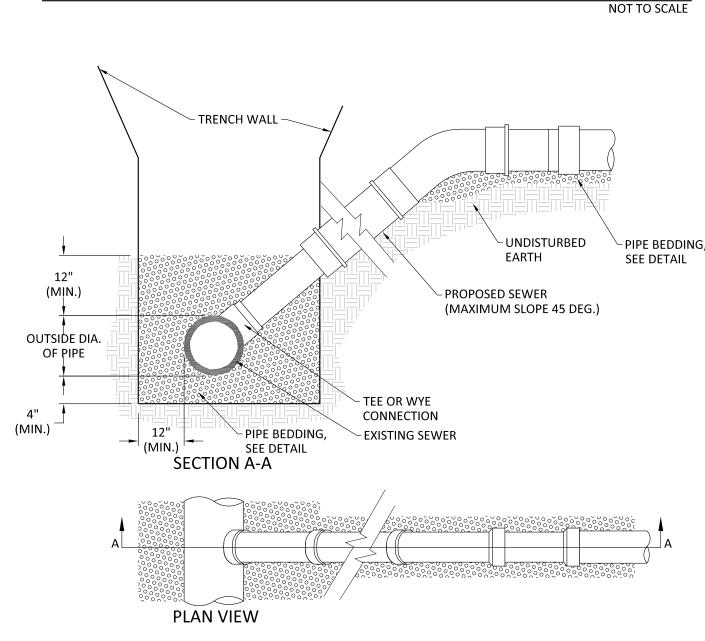
ACCESSIBLE INCLUDING THE "VAN ACCESSIBLE" SIGN.

1. PRECAST STRUCTURES TO CONFORM TO ASTM C-478

1500 GAL. RECTANGULAR GREASE TRAP

- 2. STRUCTURE SECTIONS TO BE TONGUE AND GROOVE. 3. BENCHES MUST BE PROVIDED IN ALL SANITARY SEWER MANHOLES.
- 4. NON-PRECAST OPENINGS SHALL BE CORED AND RUBBER BOOTED.
- 5. USE ECCENTRIC CONE ONLY
- 6. USE EXTERNAL LIFTING HOLES ONLY, BUT NOT FULL PENETRATION.

TYPE A SANITARY MANHOLE



1. FOR PROPOSED STORM SEWER SERVICE LESS THAN OR EQUAL TO 6", CORE THE EXISTING PIPE

AND USE AN "INSERTA TEE". RISER CONNECTION

NOT TO SCALE

NOT TO SCALE

CURB RAMP

LANDING

- PROPOSED

SIDEWALK

PLANS

FACE OF CURB

- CURB HEIGHT

- EDGE OF PAVEMENT

TRANSITION AREA

MAX.

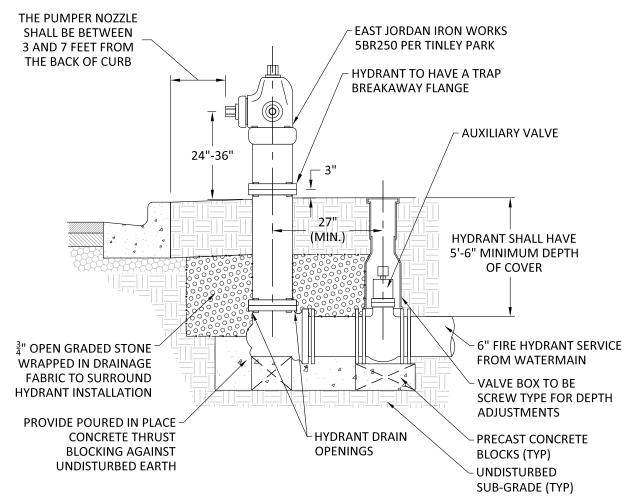
10" (MIN.) CAST IN PLACE -CONCRETE BLOCKING (TYP)

- IN ADDITION TO THE ABOVE THRUST BLOCKING, ALL MECHANICAL JOINTS, BENDS OVER 10 DEG, TEES, CROSSES, VALVES, AND FIRE HYDRANTS SHALL HAVE A "MEGALUG" RESTRAINT, OR AS
- 4. PLACE THE BASE AND THRUST BEARING SIDES OF THRUST BLOCK DIRECTLY AGAINST UNDISTURBED

THRUST BLOCKING

NOT TO SCALE

KNEE WALL



1. ALL VALVES SHALL BE: RESILIENT WEDGE GATE VALVES WITH MECHANICAL JOINT ENDS TO COMPLY WITH ANSI/ AWWA C515-09 OR LATEST VERSION. VALVES TO BE CLOW, AMERICAN, WATEROUS,

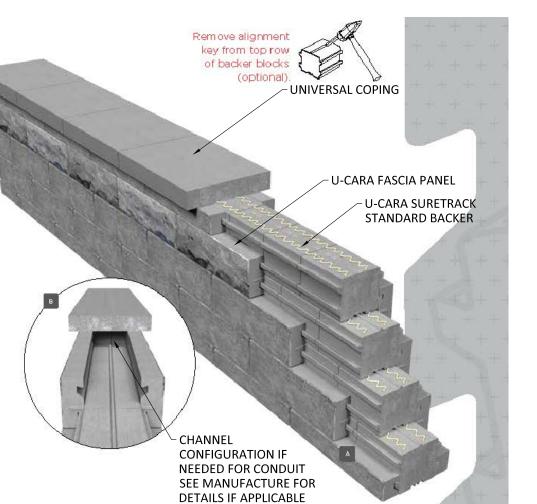
KENNEDY, OR APPROVED EQUAL.

2. CONCRETE BASE AND BLOCKING MATERIAL SHALL NOT BLOCK NOR OBSTRUCT HYDRANT DRAIN.

FIRE HYDRANT

NOT TO SCALE

NOT TO SCALE



ESIGNED BY: BP KMP

PRJ#: 4523-329-32-01

03/17/2021

EVIEWED BY:

MUNICIPAL/AGENCY APPROVAL STAMP

AR RK

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OFFICE LOCATION: 1316 BOND STREET, SUITE 108 NAPERVILLE, ILLINOIS 60563 (630) 717-4848 wcgrp.com

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NOT TO SCALE

NOT TO SCALE OPTIONAL SIDE ~ ENTRY LOCATION - SEE UTILITY PLAN FOR PIPE SIZE PLAN VIEW 🛶 🔫 FRAME AND GRATE -- 2 (MAX.) PRECAST CONCRETE SEE SPECIFICATIONS ADJUSTING RINGS (MORTARED) (8" MAX.) PROVIDE EXTERNAL CHIMNEY SEAL ~ ON NEW MANHOLES AND JOINTS SHALL BE EXTERNALLY INTERNAL CHIMNEY SEAL ON SEALED WITH A 6" OR 9" WIDE EXISTING MANHOLES, WHERE BAND OF RUBBER AND MASTIC NECESSARY. EXTERNAL CHIMNEY CONFORMING TO ASTM C-877 SEALS TO BE PLACED WHEN RIM IS ▼ (TYPE 2 OR TYPE 3) ADJUSTED TO FINAL GRADE. FLEXIBLE MANHOLE PIPE -BOOT WITH 2 STAINLESS BANDS PER ASTM C-923 ∰4'-6" CLEANOUT CUP (EACH PIPE PENETRATION) PRECAST BASE RISER SECTION WITH **SECTION VIEW** INTEGRAL FLOOR ~ 4" (MIN.) STRUCTURE 1. PRECAST STRUCTURES TO CONFORM TO ASTM C-478. 6" (MIN.) BEDDING 2. STRUCTURE SECTIONS TO BE TONGUE AND GROOVE. 3. NON-PRECAST OPENINGS SHALL BE CORED AND RUBBER BOOTED 4. USE EXTERNAL LIFTING HOLES ONLY, BUT NOT FULL PENETRATION.

ON-SITE PARALLEL CURB RAMP SECTIONS EARTH (TYP) 1. ALL BENDS OF 22\(\frac{1}{2} \) AND LARGER SHALL BE BLOCKED WITH AT LEAST 10" THICK POURED IN PLACE CONCRETE BLOCKS AGAINST UNDISTURBED VERTICAL EARTH FACE. ALL CONCRETE TO BE 3,500 PSI (MIN.) 6. ALL VALVES SHALL BE: RESILIENT WEDGE GATE VALVES WITH MECHANICAL JOINT ENDS TO COMPLY WITH ANSI/ APPROVED BY THE MUNICIPAL ENGINEERING DIVISION. BOLTS SHALL BE "COR-TEN". AWWA C515-09 OR LATEST VERSION. VALVES TO BE CLOW, AMERICAN, WATEROUS, KENNEDY, OR APPROVED EQUAL.

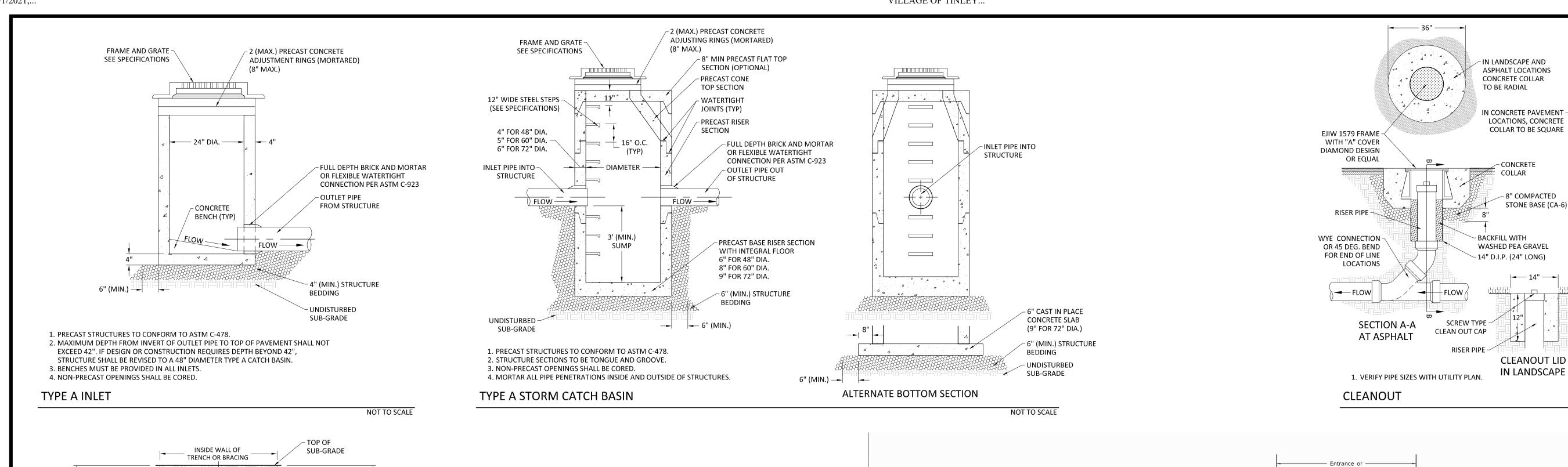
UNIVERSAL COPING-WITH EXTERIOR MASONRY ADHESIVE PROPOSED KNEE WALL, SEE PLANS FOR LOCATION - USE EXTERIOR MASONRY WALL UNITS SHALL BE ADHESIVE WITH ALL COURSES U-CARA MULTI-FACE **WALL SYSTEM COLOR: GRANITE FUSION** (SMOOTH FACE) U-CARA FASCIA PANEL U-CARA SURETRACK STANDARD BACKER - AT LEAST 1 FULL WALL UNIT SHALL BE EMBEDDED BELOW GRADE PROPOSED PATIO - U-CARA SURETRACK LARGE - BASE UNIT BY UNILOCK (14"x19"x2.125") 8" COMPACTED CA-7 STONE BASE WRAPPED IN FILTER FABRIC, OVERLAP ALL FABRIC JOINTS 12" (MIN.) COMPACT IN 2 LIFTS LINE BOTTOM OF TRENCH WITH UNILOCK DRIVEGRID™ PROPERLY COMPACT SUB-BASE AS NEEDED FOR

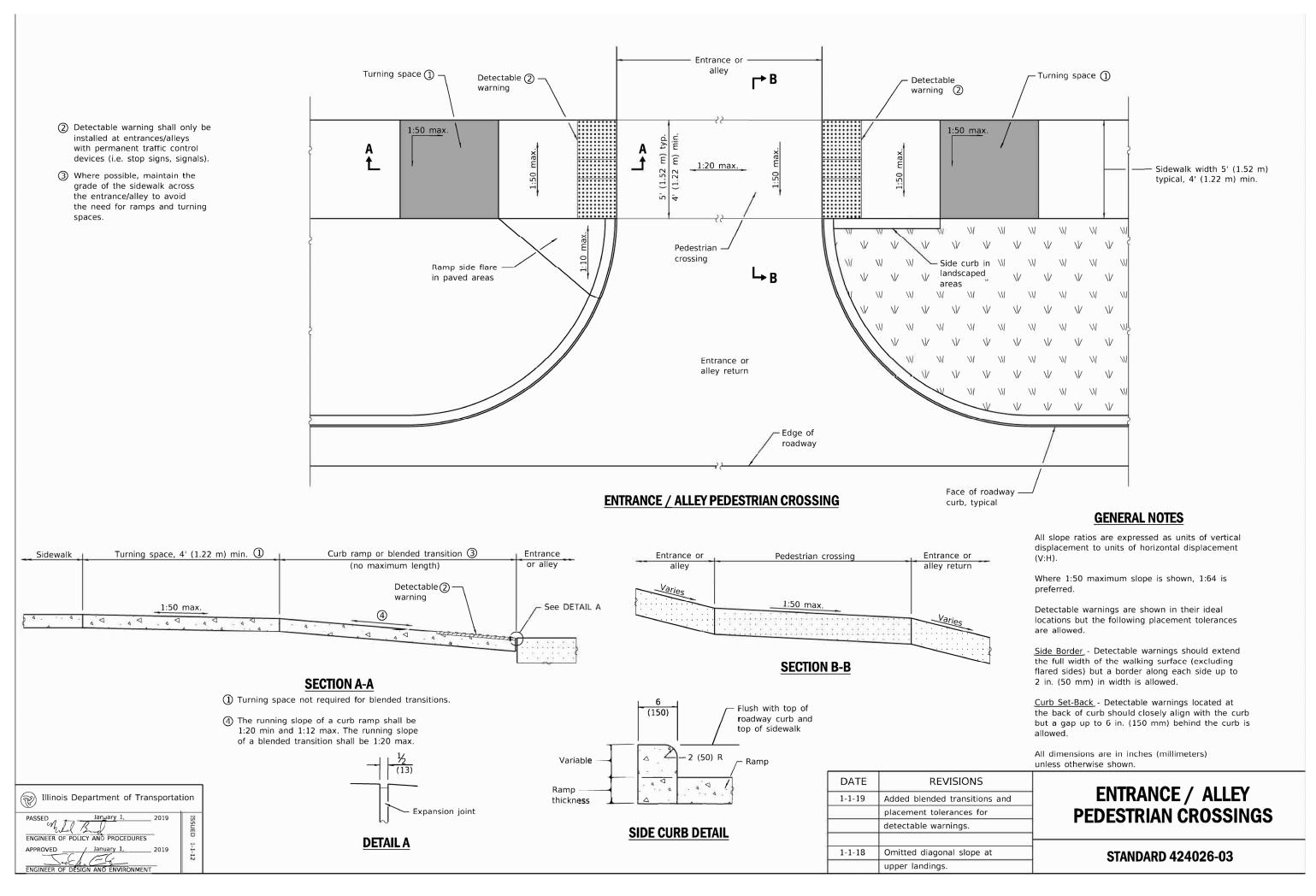
1. KNEE WALL SHALL BE INSTALLED PLUM IN ALL DIRECTIONS. 2. KNEE WALL SHALL BE INSTALLED BY A CERTIFIED COMPANY AND CREW, CREW SHALL FOLLOW ALL MANUFACTURE'S RECOMMENDATIONS.

3. CONTRACTOR IS RESPONSIBLE TO VERIFY SUB-BASE IS PROPERLY COMPACTED AND STRUCTURAL SOILS ARE ADEQUATE FOR SUPPORTING WALL.

KNEE WALL

AGENDA - 6/1/2021,... VILLAGE OF TINLEY...





¹/₂ O.D. HAUNCHING (CA-7) 6" BEDDING OR $\frac{1}{4}$ PIPE DIA. (MIN.) (CA-7) FOUNDATION WHEN-SOIL CONDITION WARRANTS FLEXIBLE PIPE INSTALLATION -- RIGID PIPE INSTALLATION 1. BEDDING NOT REQUIRED FOR WATERMAIN. UTILITY TRENCH AND BEDDING DETAIL

FINAL BACKFILL

CA-6 OR CA-7

PAVED

AREAS

UNPAVED

AREAS

TRENCH

WIDTH

IN UNPAVED AREAS:

COMPACTED EARTH **IN PAVED AREAS:**

VARIES

12" (MIN.) COVER OVER FLEXIBLE PIPE ONLY

CA-7, CA-11, CA-13

 $\frac{1}{2}$ O.D. INITIAL BACKFILL

TOP OF PIPE ONLY (CA-7, CA-11, CA-13) FINAL BACKFILL

IN UNPAVED AREAS:

COMPACTED EARTH

¹/₂ O.D. INITIAL BACKFILL TOP OF PIPE ONLY

(CA-7, CA-11, CA-13)

 $\frac{1}{2}$ O.D. HAUNCHING

(CA-7)

6" BEDDING OR $\frac{1}{4}$

PIPE DIA. (MIN.)

(CA-7)

FOUNDATION WHEN

NOT TO SCALE

SOIL CONDITION

WARRANTS

IN PAVED AREAS:

CA-6 OR CA-7

17118 TINLE PA TINLE DESIGNED BY: BP KMP REVIEWED BY: 03/17/2021 PRJ#: 4523-329-32-01 r ta OFFICE LOCATION: 1316 BOND STREET, SUITE 108 NAPERVILLE, ILLINOIS 60563 (630) 717-4848 wcgrp.com REUSE OF THIS DOCUMENT
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MUNICIPAL/AGENCY APPROVAL STAMP

HARLEM ARK LLC

∠ EXPANSION

JOINT

- SCREW TYPE

CLEANOUT

CAP

~14" D.I.P.

(24" LONG)

~ RISER PIPE

- WYE CONNECTION OR 45 DEG. BEND

FOR END OF LINE

LOCATIONS

NOT TO SCALE

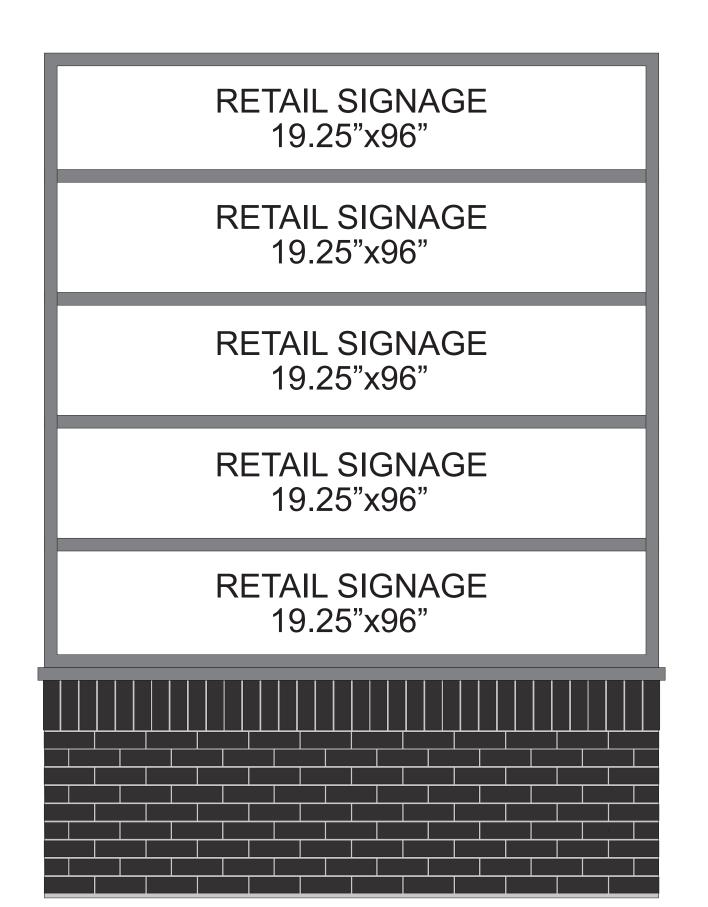
SECTION B-B

AT CONCRETE

- CONCRETE

~8" COMPACTED

STONE BASE (CA-6)





207 Gail Ct. S. Prospect Heights, IL 60070

847.222.0505

CLIENT



CORPORATE: 400 N. STATE SUITE 400 CHICAGO, IL 60654

LOCATION:

17118 S. HARLEM AVE. **TINLEY PARK, IL 60477**

PROJECT

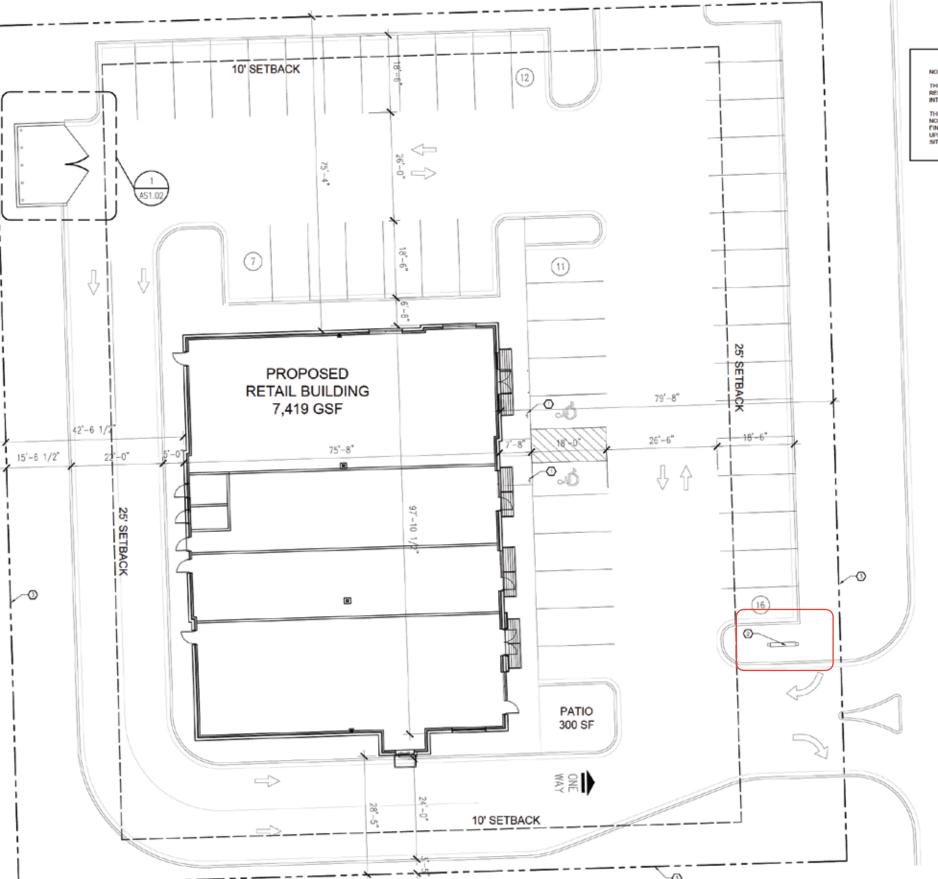
DATE: 12/10/2020
Vequity 17118 S Harlem Tinley Park 12102020.ai
ACCOUNT REP: JD
DESIGNER: NP
DESIGN TIME: N/A
R1:00/00/00
R2 :00/00/00
R3 :00/00/00
R4 :00/00/00
R5 :00/00/00
DESIGN STATUS:
□ REVISE & RESUBMIT
□ APPROVED AS NOTED
☐ APPROVED
SIGN:
DATE:
MUNICIPALITY: TINLEY PARK, IL
PERMIT STATUS:
□ REVISE & RESUBMIT
□ APPROVED AS NOTED
☐ APPROVED

PRINT SIZE: 11"x17" 8.5"x11"

MONUMENT SIGNS

DETAIL

SHEET 1 OF 2



THE INTERIOR CONDITIONS SHOWN WITHIN THE BUILDING IS FOR REFERENCE ONLY AND IS NOT TO BE CONSIDERED THE APPROVED INTERIOR LAYOUT

THE SITE PLAN PROVIDED IS ARCHITECTURAL IN NATURE AND HAS NOT BEEN REVIEWED BY A CIVIL ENGINEER AT THE TIME OF THIS ISSUANCE FINAL SITE CONFIGURATION AND OR SITE DRAINING WILL BE REVIEW AND OR UPDATED WHEN A CIVIL ENGINEER BIS IN REVIEW OF THE PROJECT. THE FINAL SITE PLAN MAY DIFFER UPON RECEIPT OF SEALED CIVIL ENGINEERED DOCUMENTS.

KEY NOTES:

- 1. ADA PARKING, SIGN REFER TO CIVIL
- 2. PROPOSED MONUMENT SIGN.
- 3. PROPERTY LINE.





207 Gail Ct. S. Prospect Heights, IL 60070

info@signs3.com

847.222.0505

CLIENT

CORPORATE: 400 N. STATE SUITE 400 CHICAGO, IL 60654

LOCATION:

17118 S. HARLEM AVE. **TINLEY PARK, IL 60477**

PROJECT

	00 _0.
DATE: 12/10/202	20
Vequity 17118 S	Harlem Tinley Park 12102020.ai
ACCOUNT REP	:JD
DESIGNER:	NP
DESIGN TIME:	N/A
R1:00/00/00	
R2 :00/00/00	
R3 :00/00/00	
R4:00/00/00	

DESIGN STATUS:

R5:00/00/00

REVISE & RESUBMIT
APPROVED AS NOTED

SIGN:

MUNICIPALITY: TINLEY PARK, IL

PERMIT STATUS:

- □ REVISE & RESUBMIT
- □ APPROVED AS NOTED APPROVED

PRINT SIZE: 11"x17" 8.5"x11"

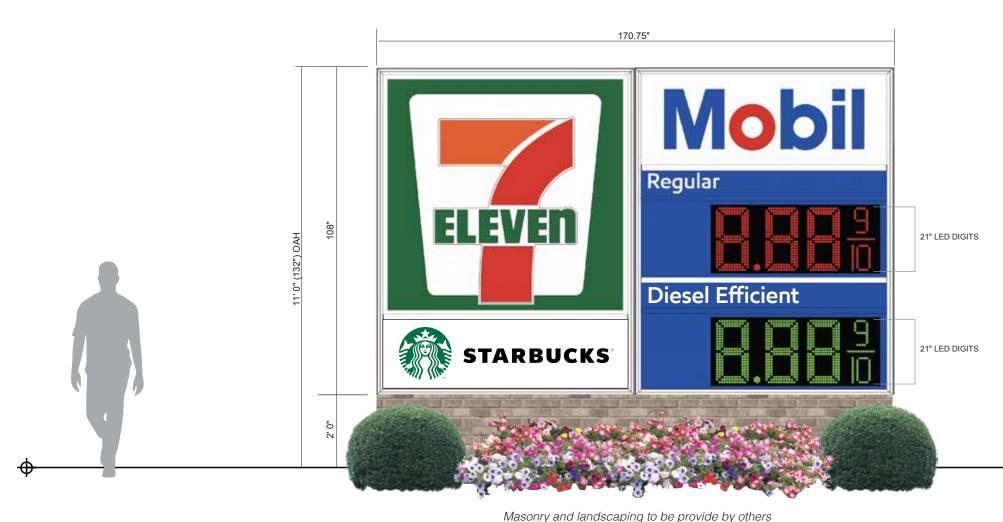
SACALE: N.T.S.

MONUMENT SIGNS

SITE PLAN

SHEET 2 OF 2

your image is our priority.



Total Sign Square footage Calculations:		
Allowed:	120.0 sqft	
Proposed:	129 sqft	

Overall Height:		
Allowed Max:	10.0 Feet	
Proposed:	11.0 Feet	

SetBacks:		
Requirements:	5 Feet	
Proposed:	5 Feet	

Code Information:

- Monument sign square footage calculated as follows: 1 SF per 2.5 of linear frontage not to exceed 120 SF.
- 2. 10' Setback restriction for all signs on site (directionals are exempt).
- 3. Max overall height: 10'
- Freestanding signs shall be architecturally compatible with the building it identified. The sign shall have the same or similar materials to the materials used for the principle building.

| Face Detail - Mobil 2P Pricer Monument Structure - Sign A

3/8" = 1'-0" *Must be printed at actual size for scale to apply



Everbrite, LLC • 4949 South 110th Street • Greenfield, WI 53228 • www.everbrite.com Customer/Site No: 7ELEV38828

Prepared By: T. Heesen

Address: 17100 S. Harlem Ave, Tinley Park, IL 60477 Date: 01/12/21 Description: 7-11/Mobil Brand Book Customer Signature:

Project No: 428615-6



PAGE 2 OF 8



Tinley Park, Illinois



Prepared For:

Vequity



1. Introduction

This report summarizes the methodologies, results, and findings of a traffic impact study conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for a proposed retail development to be located in Tinley Park, Illinois. The site, which is vacant, is located on the west side of Harlem Avenue (IL Route 43) 300 feet south of 171st Street. As proposed, the site will be developed with an approximately 7,421 square-foot multi-tenant building that will be anchored by an approximately 2,202 square-foot Starbucks coffee shop. Access to the development will be provided via a proposed right-in/right-out access drive on Harlem Avenue and via cross connection to the planned 7-Eleven fuel center development to be located north of the site.

The purpose of this study was to examine background traffic conditions, assess the impact that the proposed development will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed development.

Figure 1 shows the location of the site in relation to the area roadway system. **Figure 2** shows an aerial view of the site.

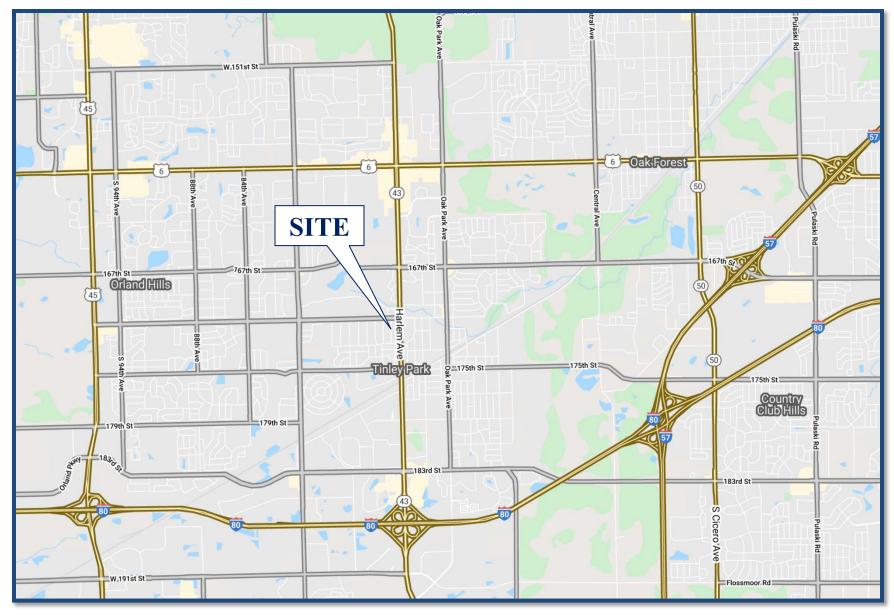
The sections of this report present the following:

- Existing roadway conditions
- A description of the proposed development
- Directional distribution of the development traffic
- Vehicle trip generation for the development
- Future traffic conditions including access to the development
- Traffic analyses for the weekday morning and weekday evening peak hours
- Recommendations with respect to adequacy of the site access and adjacent roadway system
- Evaluation of the on-site circulation and provided parking supply

Traffic capacity analyses were conducted for the weekday morning and weekday evening peak hours for the following conditions:

- 1. Year 2021 Base Conditions Analyzes the capacity of the existing roadway system using peak hour traffic volumes conducted in 2019 increased to represent Year 2021 volumes.
- 2. Year 2027 No-Build Conditions Analyzes the capacity of the existing roadway system using Year 2021 base traffic volumes increased by an ambient area growth factor not attributable to any particular development as well the traffic expected to be generated by the planned 7-Eleven development north of the site.
- 3. Year 2027 Total Projected Conditions Analyzes the capacity of the future roadway system using the projected traffic volumes that include the Year 2027 no-build conditions and the traffic estimated to be generated by the proposed development.

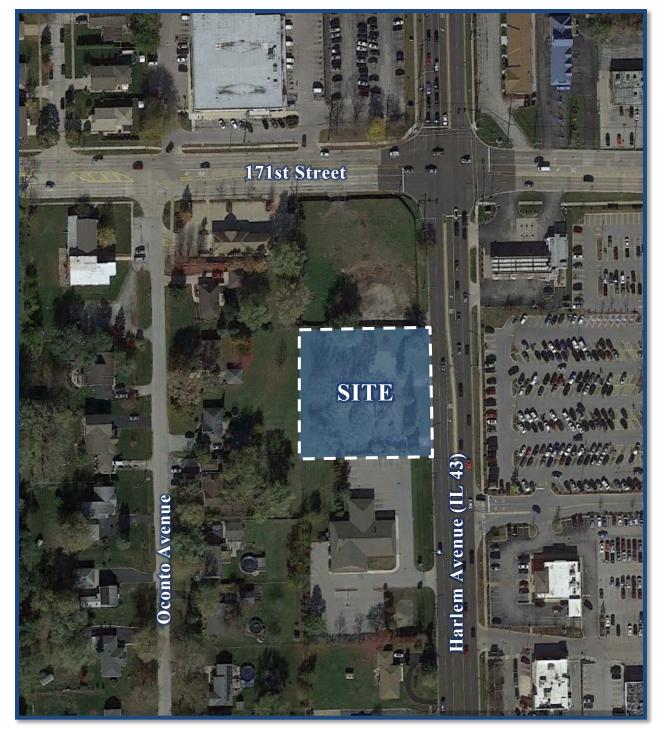




Site Location Figure 1

Proposed Retail Development Tinley Park, Illinois





Aerial View of Site Figure 2



2. Existing Conditions

Existing transportation conditions in the vicinity of the site were documented based on a field visit conducted by KLOA, Inc. in order to obtain a database for projecting future conditions. The following provides a description of the geographical location of the site, physical characteristics of the area roadway system including lane usage and traffic control devices, and existing peak hour traffic volumes.

Site Location

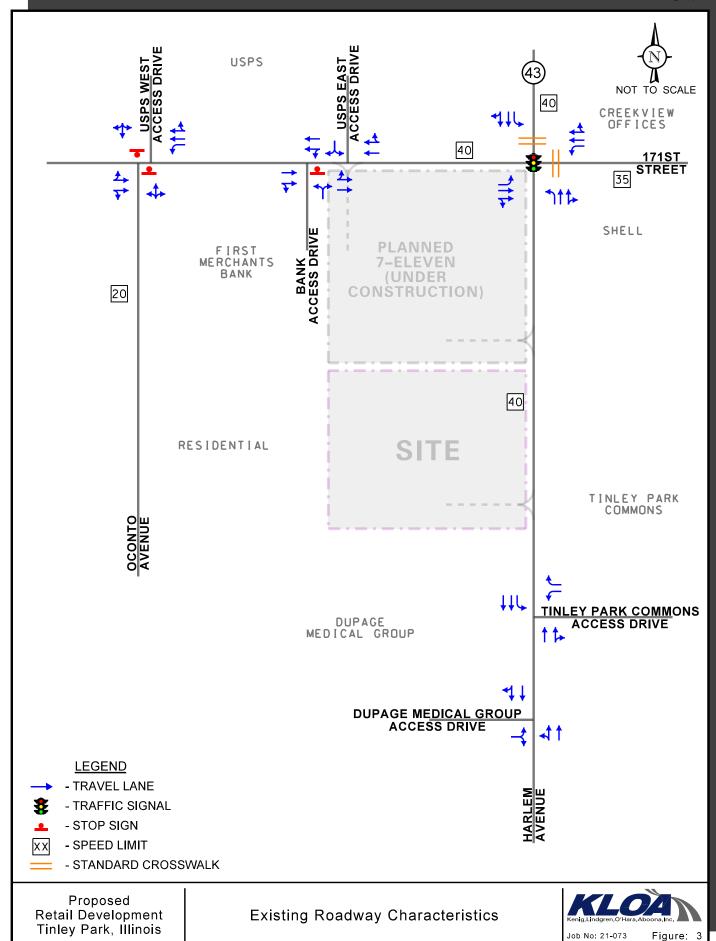
The site, which is vacant, is bounded by the parcel that is to be developed with the planned 7-Eleven fuel center to the north, Harlem Avenue to the east, DuPage Medical Group to the south, and single-family homes to the west. Land uses in the area include the United States Postal Service (USPS) and the First Merchants Bank to the north, and Creekview Offices, a Shell fuel center, and Tinley Park Commons to the east

Existing Roadway System Characteristics

The characteristics of the existing roadways near the development are described below. **Figure 3** illustrates the existing roadway characteristics.

Harlem Avenue (IL Route 43) is a north-south arterial roadway that provides two through lanes in each direction separated by a raised barrier median along the site frontage. At its signalized intersection with 171st Street, Harlem Avenue provides an exclusive left-turn lane, a through lane, and a shared through/right-turn lane on the northbound and southbound approaches. The north leg of the intersection provides a standard style crosswalk and pedestrian countdown signals. At its unsignalized intersection with the Tinley Park Commons access drive, Harlem Avenue provides an exclusive southbound left-turn lane and the access drive provides two outbound lanes under stop sign control. At its unsignalized intersection with the DuPage Medical Group access drive, Harlem Avenue provides no exclusive turn lanes and the access drive provides one outbound lane under stop sign control. Harlem Avenue is under the jurisdiction of the Illinois Department of Transportation (IDOT), is classified as a Strategic Regional Arterial (SRA) route, carries an Annual Average Daily Traffic (AADT) volume of 33,800 vehicles north of 171st Street and 33,900 vehicles south of 171st Street (IDOT 2019), and has a posted speed limit of 40 miles per hour.





171st Street is an east-west collector roadway that in the vicinity of the site provides two through lanes in each direction separated by a mountable/striped median. At its signalized intersection with Harlem Avenue, 171st Street provides an exclusive left-turn lane, a through lane, and a shared through/right-turn lane on the eastbound and westbound approaches. The east leg provides a standard style crosswalk and pedestrian countdown signals. At its unsignalized intersection with Oconto Avenue, 171st Street provides a shared left-turn/through lane and a shared through/right-turn lane on the eastbound approach and an exclusive left-turn lane, a through lane, and a shared through/right-turn lane on the westbound approach. At its intersections with the USPS east access drive and the First Merchants Bank access drive, 171st Street provides no exclusive turn lanes and the access drives provide one outbound lane with outbound movements under stop sign control. West of Harlem Avenue, 171st Street is under the jurisdiction of the Cook County Department of Transportation and Highways, carries an AADT volume of 16,000 vehicles (IDOT 2018), and has a posted speed limit of 40 miles per hour. East of Harlem Avenue, 171st Street is under the jurisdiction of the Village of Tinley Park, carries an AADT volume of 11,800 vehicles (IDOT 2018), and has a posted speed limit of 35 miles per hour.

Oconto Avenue is a north-south local roadway that provides one through lane in each direction and extends from 171st Street to its terminus at 173rd Street approximately 1,300 feet to the south. At its unsignalized intersection with 171st Street, Oconto Avenue provides a shared left/right-turn lane under stop sign control. Oconto Avenue is under the jurisdiction of the Village of Tinley Park and has a posted speed limit of 20 miles per hour.

Traffic Signal Interconnect

The intersection of Harlem Avenue with 171st Street is part of a 16-signal interconnect system that extends along Harlem Avenue from 175th Street (located one-half mile to the south) to 151st Street (approximately 2.5 miles to the north) and also includes the traffic signals along US Route 6 (159th Street) between the Park Center/Home Depot signalized access drives and Laramie Avenue. These traffic signals are maintained by IDOT.

Planned 7-Eleven Development

The parcel in the southwest quadrant of the intersection of Harlem Avenue with 171st Street is to be developed with a 7-Eleven fuel center with 20 fueling positions, a convenience store, and an automated car wash. Access to the fuel center will be provided via a proposed right-in/right-out access drive off Harlem Avenue approximately 200 feet south of 171st Street, a right-in/right-out access drive off 171st Street aligned opposite the east USPS access drive, and cross connection to the existing First Merchants Bank which provides access to Oconto Avenue and Harlem Avenue.

Planned Harlem Avenue with 171st Pedestrian Improvements

The intersection of Harlem Avenue with 171st Street is planned to be improved with high visibility crosswalks with pedestrian countdown timers on the west and south legs. These improvements will be in addition to the existing standard style crosswalks and pedestrian countdown timers on the north and east legs of the intersection.



Year 2021 Base Traffic Volumes

In order to determine current traffic conditions in the vicinity of the site, peak period traffic counts conducted in 2019 by KLOA, Inc were used. The counts were conducted utilizing Miovision Scout Collection Units during the weekday morning (7:00 to 9:00 A.M.) and evening (4:00 to 6:00 P.M.) peak periods on Tuesday, August 6, 2019 at the following intersections:

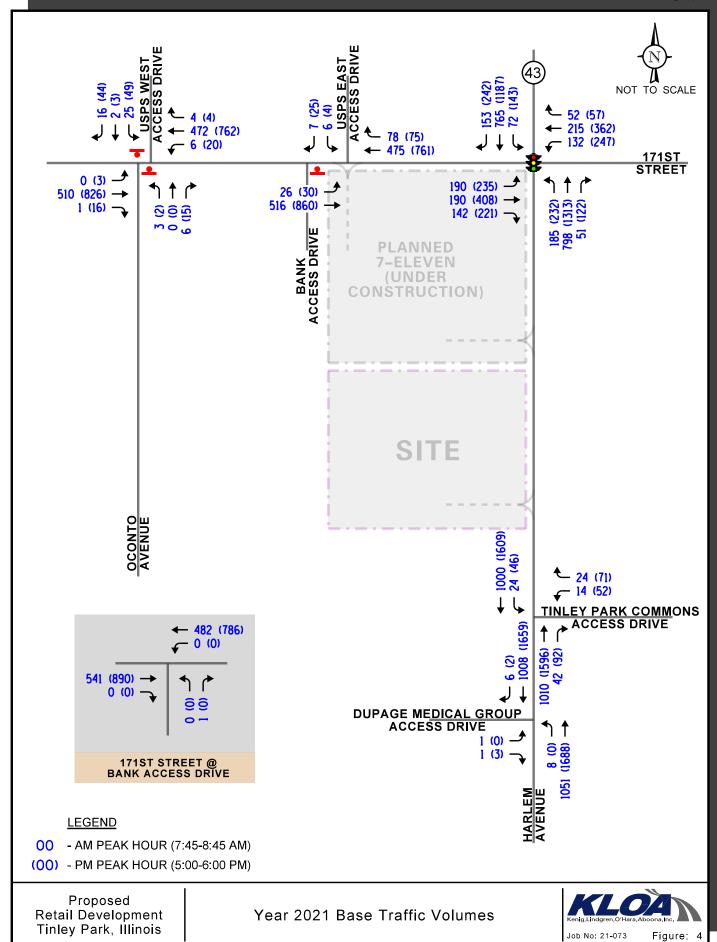
- Harlem Avenue with 171st Street
- 171st Street with the First Merchants Bank access drive
- 171st Street with Oconto Avenue/USPS west access drive
- 171st Street with USPS east access drive

The results of the traffic counts indicated that the weekday morning peak hour of traffic occurs from 7:45 A.M. to 8:45 A.M. and the weekday evening peak hour of traffic occurs from 5:00 P.M. to 6:00 P.M. In order to represent Year 2021 conditions, these volumes were increased by 1.6 percent based on CMAP 2050 projections as discussed later in the report. These counts were supplemented with additional counts conducted on Friday March 26, 2021 and Monday March 29, 2021 at the following intersections:

- Harlem Avenue with the Tinley Park Commons access drive
- Harlem Avenue with the DuPage Medical Group access drive

A review of these counts indicated that through volumes on Harlem Avenue were lower than the increased 2019 volumes. As such, the through volumes were increased to balance with the intersections to the north on Harlem Avenue. The Year 2021 base traffic volumes are illustrated in **Figure 4**. Copies of the traffic count summary sheets are included in the Appendix.





Crash Analysis

KLOA, Inc. obtained crash data¹ for the most recent available past five years (2015 to 2019) for the intersection of Harlem Avenue with 171st Street as summarized in **Table 1.** A review of the crash data indicated that no fatalities were reported at the intersection during the review period.

Table 1 HARLEM AVENUE WITH 171ST STREET

	Type of Crash Frequency						
Year	Angle	Object	Rear End	Sideswipe	Turning	Other	Total
2015	1	0	10	2	8	0	21
2016	1	0	13	3	5	1	23
2017	1	0	4	1	6	1	13
2018	0	1	6	0	7	0	14
2019	<u>1</u>	<u>0</u>	<u>9</u>	<u>0</u>	<u>4</u>	<u>0</u>	<u>14</u>
Total	4	1	42	6	30	2	85
Average/Year	<1.0	<1.0	8.4	1.2	6.0	<1.0	17

¹ IDOT DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s). Additionally, for coding years 2015 to present, the Bureau of Data Collection uses the exact latitude/longitude supplied by the investigating law enforcement agency to locate crashes. Therefore, location data may vary in previous years since data prior to 2015 was physically located by bureau personnel.



3. Traffic Characteristics of the Proposed Development

In order to properly evaluate future traffic conditions in the surrounding area, it was necessary to determine the traffic characteristics of the proposed development, including the directional distribution and volumes of traffic that it will generate.

Proposed Site and Development Plan

As proposed, the site will be developed with an approximately 7,421 square-foot multi-tenant retail building that will be anchored by an approximately 2,202 square-foot Starbucks coffee shop. The remaining 5,219 square feet is to be occupied by three general retail tenants. Parking will be provided within a 44-space surface parking lot. Access to the development will be provided via the following:

- A right-in/right-out access drive on Harlem Avenue approximately 425 feet south of 171st Street. This access drive will provide one inbound lane and one outbound lane with outbound movements under stop sign control. Turning movements at this access drive will be restricted to right turns only via the existing raised median along Harlem Avenue and the proposed raised triangular "porkchop" island median and will be supplemented with appropriate striping and signage.
- A cross-access connection to the planned 7-Eleven fuel center that will border the site to the north. A stop sign should be provided at the border of the site for northbound traffic exiting the site and entering the 7-Elven site. This development will provide access to the area roadway system as follows:
 - A right-in/right-out access drive off Harlem Avenue located approximately 200 feet south of 171st Street. This access drive will provide one inbound lane and one outbound lane with outbound movements under stop sign control. Turning movements at this access drive will be restricted to right turns only via the existing raised median along Harlem Avenue, a raised triangular "porkchop" island median, and appropriate striping and signage.
 - A right-in/right-out access drive off 171st Street located approximately 225 feet west of Harlem Avenue that will be aligned opposite the east USPS access drive. This access drive will provide one inbound lane and one outbound lane with outbound movements under stop sign control. Turning movements at this access drive will be physically restricted to right turns only via a raised triangular median, striping and signage.
 - Cross access to the existing First Merchants Bank site that borders the west side of the fuel center site. This connection will provide access to the existing full movement access drive off 171st Street approximately 275 feet west of Harlem Avenue and the existing three-quarters (right in, right out, left in) access drive off Oconto Avenue that is located approximately 110 feet south of 171st Street.



In addition, the site will provide a cross access easement for potential future connection to the south. As part of the development, the existing driveways serving the single-family homes within the site will be removed. A copy of the site plan and drive-through stacking exhibit is included in the Appendix.

Directional Distribution

The directional distribution of future site-generated trips on the roadway system is a function of several variables, including the operational characteristics of the roadway system and the ease with which drivers can travel over various sections of the roadway system. It is important to note that there are five independent Starbucks developments within five miles of the site, indicating that site traffic will further consider ease of access to the site. Most importantly, there is a Starbucks development on the east side of Harlem Avenue approximately one- and one-half miles north of the site. This development is expected to service a large amount of the northbound traffic on Harlem Avenue that may otherwise access the proposed development. This is particularly true for pass-by traffic. The directions from which patrons and employees of the proposed development will approach and depart the site are illustrated in **Figure 5**.

Estimated Site Traffic Generation

The volume of traffic generated by a development is based on the type of land uses and the size of the development. The number of peak hour vehicle trips estimated to be generated by the proposed development is based on vehicle trip generation rates contained in *Trip Generation Manual*, 10^{th} Edition, published by the Institute of Transportation Engineers (ITE). The "Coffee/Donut Shop with Drive-Through Window" (ITE Land-Use Code 937) rate was used for the coffee shop and the "Shopping Center" (ITE Land-Use Code 820) was used for the retail tenants.

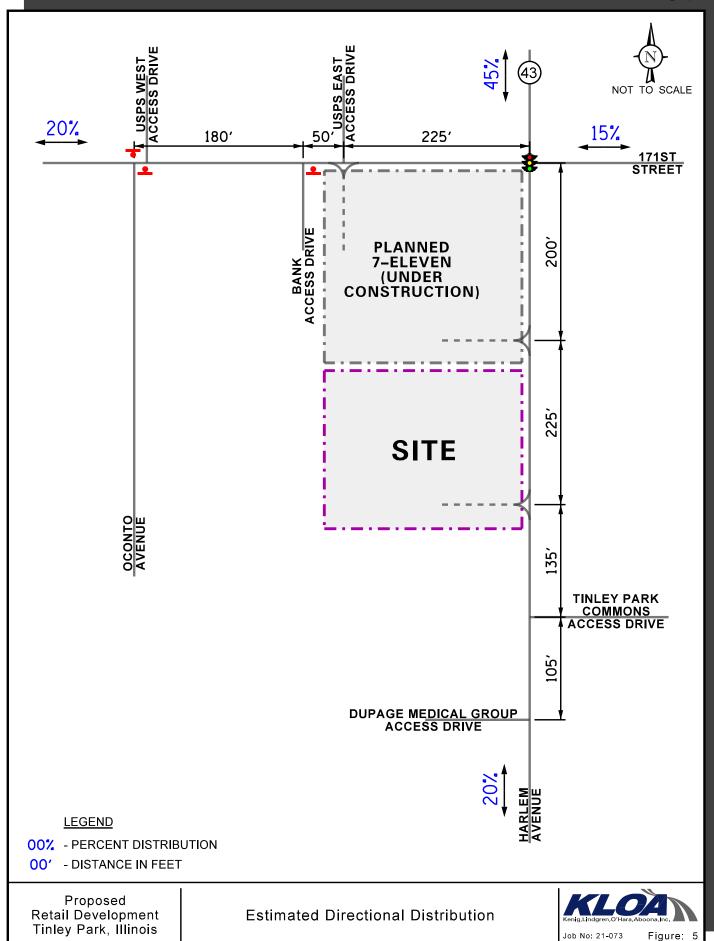
It should be noted that surveys conducted by ITE have shown that a considerable number of trips made to coffee shops are diverted from the existing traffic on the area roadways. This is particularly true during the weekday morning and evening peak hours when traffic is diverted from the home-to-work and work-to-home trips. Such diverted trips are referred to as pass-by traffic. These surveys indicate that, on average, 89 percent of the peak hour trips generated by a coffee shop are diverted from existing traffic on the adjacent roads. However, in order to provide a conservative (worst-case) analysis, a pass-by reduction of only 70 percent was applied to the site-generated traffic volumes. **Table 2** shows the site-generated traffic volumes for the proposed development. Copies of the ITE trip generation sheets are included in the Appendix.



Table 2
ESTIMATED SITE-GENERATED TRAFFIC VOLUMES

ITE Land			kday M Peak Ho			kday E Peak H	vening our	Daily Two-Way
Use Code	Type/Size	In	Out	Total	In	Out	Total	Trips
937	Coffee/Donut Shop (2,202 s.f.)	99	96	195	48	47	95	1,802
	70% Pass-By Reduction	-68	-68	-136	-33	-33	-66	-1,262
	New Coffee Shop Trips	31	28	59	15	14	29	540
820	Shopping Center (5,219 s.f.)	<u>3</u>	<u>2</u>	<u>5</u>	<u>29</u>	<u>32</u>	<u>61</u>	<u>808</u>
	Total New Trips	34	30	64	44	46	90	1,348





4. Projected Traffic Conditions

The total projected traffic volumes include the existing traffic volumes, increase in background traffic due to growth, and the traffic estimated to be generated by the proposed subject development.

Development Traffic Assignment

The estimated weekday morning and evening peak hour traffic volumes that will be generated by the proposed development were assigned to the roadway system in accordance with the previously described directional distribution (Figure 5). The new site-generated traffic assignment for the proposed development is illustrated in **Figure 6** and the pass-by traffic assignment is illustrated in **Figure 7**.

Background Traffic Conditions

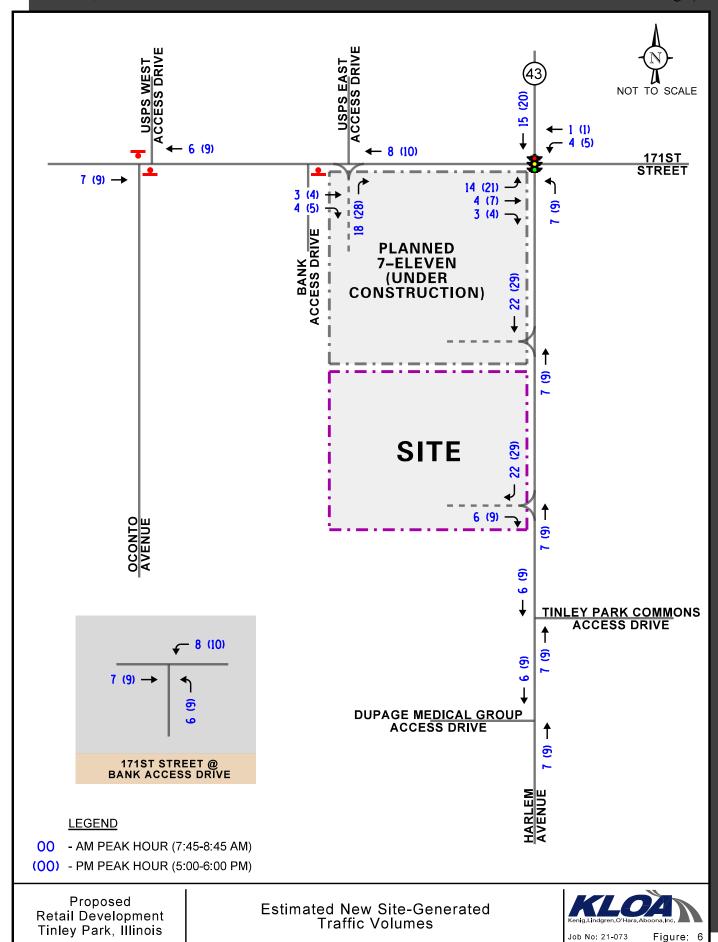
The Year 2021 base traffic volumes (Figure 4) were increased by a regional growth factor to account for the increase in existing traffic related to regional growth in the area (i.e., not attributable to any particular planned development). Based on ADT projections provided by the Chicago Metropolitan Agency for Planning (CMAP), an increase of approximately 0.8 percent per year for six years (buildout year plus five years) was applied to project Year 2027 conditions. A copy of the CMAP 2040 projections letter is included in the Appendix.

In addition, the traffic that is expected to be generated by the planned 7-Eleven fuel center was included in the no-build volumes. These volumes were based on the traffic impact study prepared for the fuel center by KLOA, Inc. in 2019. The Year 2027 no-build traffic volumes are illustrated in **Figure 8**.

Total Projected Traffic Volumes

The development-generated traffic (Figures 6 and 7) was added to the Year 2027 no-build traffic volumes (Figure 8) to determine the Year 2027 total projected traffic volumes, shown in **Figure 9**.





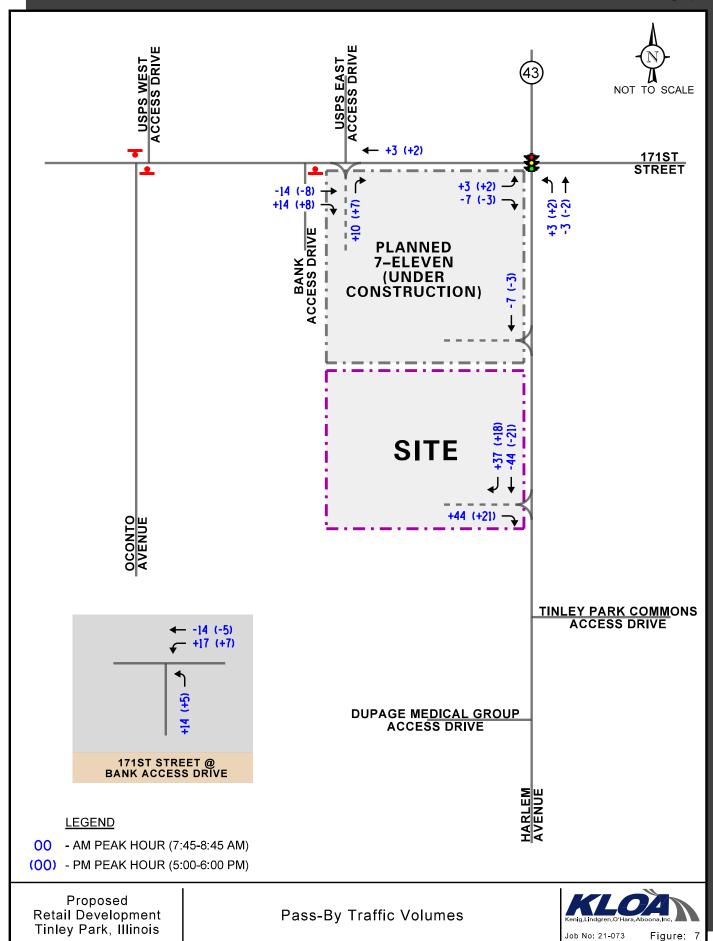
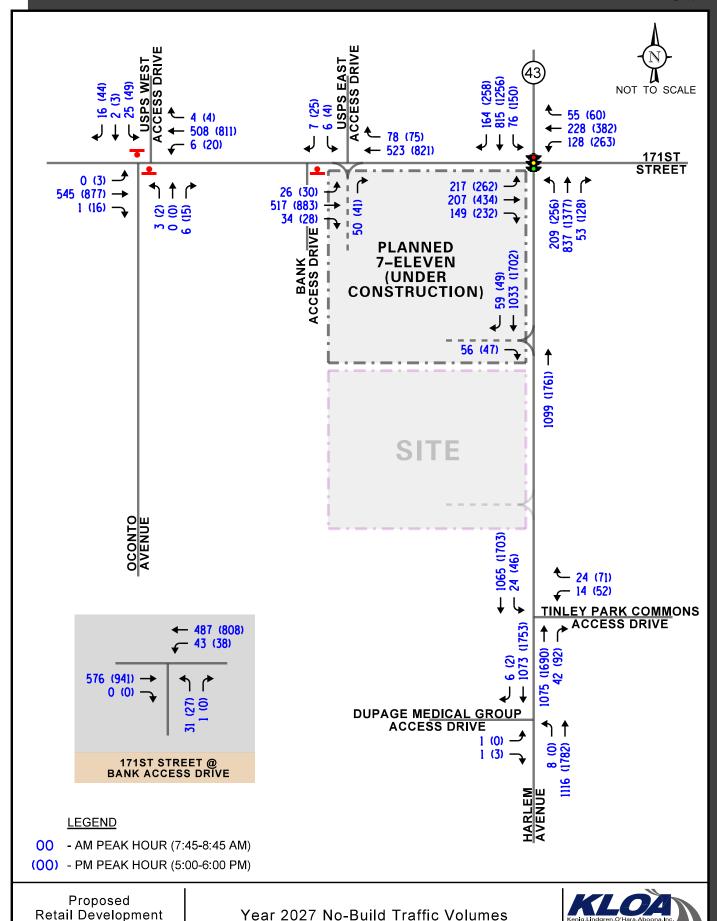


Figure: 8

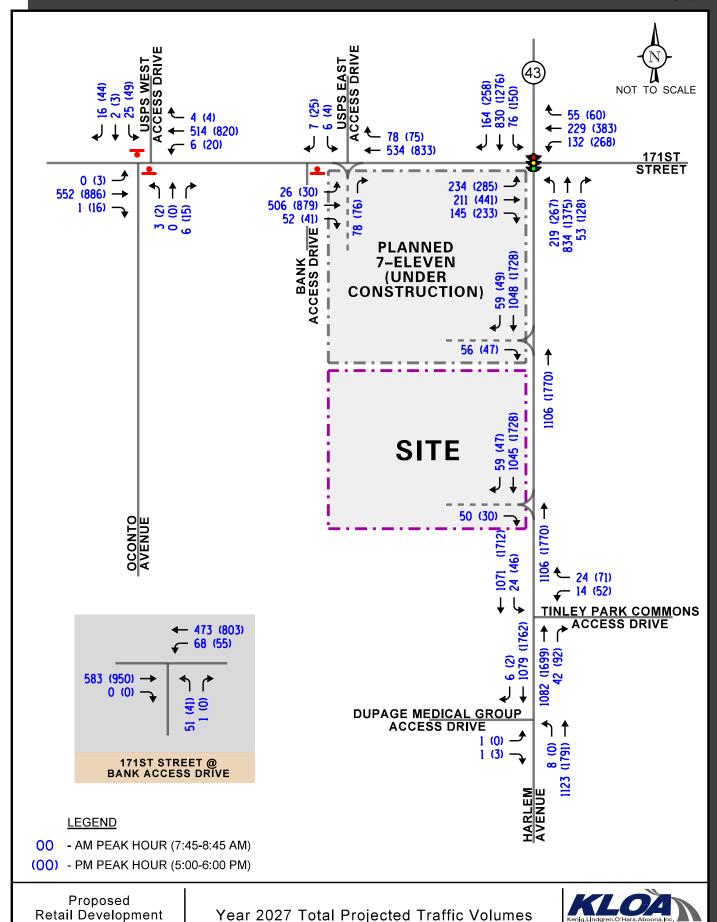
Job No: 21-073



Tinley Park, Illinois

Figure: 9

Job No: 21-073



Tinley Park, Illinois

5. Traffic Analysis and Recommendations

The following provides an evaluation conducted for the weekday morning and weekday evening peak hours. The analysis includes conducting capacity analyses to determine how well the roadway system and access drives are projected to operate and whether any roadway improvements or modifications are required.

Traffic Analyses

Roadway and adjacent or nearby intersection analyses were performed for the weekday morning and weekday evening peak hours for the Year 2021 base, Year 2027 no-build, and Year 2027 total projected traffic volumes.

The traffic analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM)*, 6th Edition and analyzed using Synchro/SimTraffic 10 software. The analysis for the traffic-signal controlled intersections were accomplished using actual cycle lengths and phasings to determine the average overall vehicle delay and levels of service.

The analyses for the unsignalized intersections determine the average control delay to vehicles at an intersection. Control delay is the elapsed time from a vehicle joining the queue at a stop sign (includes the time required to decelerate to a stop) until its departure from the stop sign and resumption of free flow speed. The methodology analyzes each intersection approach controlled by a stop sign and considers traffic volumes on all approaches and lane characteristics.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection. The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for signalized intersections and unsignalized intersections are included in the Appendix of this report.

Summaries of the traffic analysis results showing the level of service and overall intersection delay (measured in seconds) for the projected Year 2021 base, Year 2027 no-build, and Year 2027 total projected conditions are presented in **Tables 3** through **6**. A discussion of each intersection follows. Summary sheets for the capacity analyses are included in the Appendix.



Table 3 CAPACITY ANALYSIS RESULTS –HARLEM AVENUE WITH 171ST STREET– SIGNALIZED

	Peak	F	Castboun	d	V	estboun	ıd	N	orthbou	nd	Se	outhbou	nd	0
	Hour	L	T	R	L	T	R	L	T	R	L	T	R	Overall
l	Weekday Morning	D 39.1	1 49		C 34.0	53		B 18.1		C 1.3	B 11.7		C 5.8	C 20.2
202] nditi	Peak Hour		D – 45.4			D - 47.2			C - 20.8			C - 25.7	,	30.3
Year 2021 Base Conditions	Weekday Evening	E 59.2	F 99		F 81.6	63		E 63.7		O 5.4	D 48.5		O 7.4	E
В	Peak Hour		F - 99 +			E - 70.3			D - 40.2	,		D – 47.5		61.8
Build	Weekday Morning	D 42.0	1 48		C 34.5	52		C 26.8		C 2.7	B 12.6		C).5	C
No] itions	Peak Hour		D - 46.1			D – 47.1			C - 23.5			C - 29.2	•	32.6
Year 2027 No Build Conditions	Weekday Evening	E 77.6	F 99		F 95.6	H 66		E 70.4	_) 9.6	D 51.6		E 1.9	E
Yea	Peak Hour		F – 99+			E – 77.4			D – 44.1			E – 60.9		72.7
tal itions	Weekday Morning	D 45.0	П 48		C 34.8	1 52		C 30.0		C 2.7	B 12.7		C 2.6	С
7 To Jondi	Peak Hour		D – 47.1			D – 47.1			C - 24.2	,		C - 31.2	,	33.8
Year 2027 Total Projected Conditions	Weekday Evening	F 96.8	F 99		F 99+	H 66		E 72.3).5	D 52.0		E 7.4	Е
Pr	Peak Hour measured in sec		F – 99+			E – 79.3			D – 44.4			E – 66.0		76.8

Delay is measured in seconds.

L-Left T-Through R-Right



Table 4
CAPACITY ANALYSIS RESULTS
YEAR 2021 BASE CONDITIONS – UNSIGNALIZED

	•	y Morning x Hour		y Evening Hour
Intersection	LOS	Delay	LOS	Delay
171st Street with Oconto Avenue/USPS West A	ccess Driv	ve		
Eastbound Left Turn			В	10.6
Westbound Left Turn	A	8.6	A	10.0
Northbound Approach	В	12.1	В	12.8
Southbound Approach	В	14.1	C	21.1
171st Street with First Merchants Bank Full A	ccess Driv	e		
Westbound Left Turn				
Northbound Approach	В	10.1		
171st Street with USPS East Access Drive				
Eastbound Left Turn	A	8.8	В	10.0
 Southbound Approach 	В	12.3	В	13.3
Harlem Avenue with Tinley Park Commons A	ccess Driv	ve .		
Westbound Left Turn	D	25.6	F	99+
Westbound Right Turn	В	13.1	C	22.9
Southbound Left Turn	В	11.1	С	17.5
Harlem Avenue with DuPage Medical Group	Access Dri	ive		
Eastbound Approach	С	18.0	C	17.8
Northbound Left Turn	В	10.7		
LOS = Level of Service Delay is measured in seconds.				



Table 5
CAPACITY ANALYSIS RESULTS
YEAR 2027 NO-BUILD TRAFFIC VOLUMES – UNSIGNALIZED

	·	y Morning Hour		y Evening Hour
Intersection	LOS	Delay	LOS	Delay
171st Street with Oconto Avenue/USPS West A	Access Driv	ve .		
Eastbound Left Turn			В	10.9
Westbound Left Turn	A	8.7	В	10.3
Northbound Approach	В	12.4	В	13.2
Southbound Approach	В	14.7	C	22.8
171st Street with First Merchants Bank Full A	ccess Driv	e		
Westbound Left Turn	A	8.9	В	10.2
Northbound Approach	C	16.5	C	23.3
171st Street with USPS East Access Drive and	7-Eleven A	Access Drive		
Eastbound Left Turn	A	9.0	В	10.3
Northbound Approach	В	10.6	В	12.6
Southbound Approach	В	13.6	В	14.5
Harlem Avenue with Tinley Park Commons A	ccess Driv	ve .		
Westbound Left Turn	D	27.7	F	99+
Westbound Right Turn	В	13.6	C	24.9
Southbound Left Turn	В	11.5	C	19.0
Harlem Avenue with DuPage Medical Group	Access Dri	ve		
Eastbound Approach	C	19.1	C	18.9
Northbound Left Turn	В	11.1		
Harlem Avenue with 7-Eleven Access Drive				
Eastbound Approach	В	13.8	C	20.9
LOS = Level of Service Delay is measured in seconds.				



Table 6
CAPACITY ANALYSIS RESULTS
YEAR 2027 TOTAL PROJECTED TRAFFIC VOLUMES – UNSIGNALIZED

TEMEZOZY TOTAL TROSLETED TRATTIC V	Weekday	y Morning x Hour		y Evening x Hour
Intersection	LOS	Delay	LOS	Delay
171st Street with Oconto Avenue/USPS West	Access Driv	ve		
Eastbound Left Turn			В	10.9
Westbound Left Turn	A	8.8	В	10.3
Northbound Approach	В	12.5	В	13.3
Southbound Approach	В	14.8	C	23.2
171st Street with First Merchants Bank Full	Access Driv	e		
Westbound Left Turn	A	9.1	В	10.4
Northbound Approach	C	18.8	C	26.6
171st Street with USPS East Access Drive and	d 7-Eleven A	Access Drive		
Eastbound Left Turn	A	9.0	В	10.4
Northbound Approach	В	10.9	В	13.3
Southbound Approach	В	13.8	В	14.7
Harlem Avenue with Tinley Park Commons	Access Driv	ve		
Westbound Left Turn	D	28.0	F	99+
Westbound Right Turn	В	13.7	D	25.1
Southbound Left Turn	В	11.5	C	19.1
Harlem Avenue with DuPage Medical Group	Access Dri	ive		
Eastbound Approach	C	19.2	C	19.0
Northbound Left Turn	В	11.1		
Harlem Avenue with 7-Eleven Access Drive				
Eastbound Approach	В	14.0	С	21.3
Harlem Avenue with Proposed Right-In/Rig	ht-Out Acce	ess Drive		
Eastbound Approach	В	13.8	С	20.0
LOS = Level of Service Delay is measured in seconds.				



Discussion and Recommendations

The following summarizes how the intersections are projected to operate and identifies any roadway and traffic control improvements necessary to accommodate the development-generated traffic.

Harlem Avenue with 171st Street

The results of the capacity analysis indicate that this intersection currently operates at Level of Service (LOS) C during the weekday morning peak hour and at LOS E during the weekday evening peak hour. This level of service during the weekday evening peak hour is a result of the eastbound approach which operates at LOS F and the westbound approach which operates at LOS E. Harlem Avenue is the major roadway at this intersection, is designated as an SRA, and is the coordinated movement and, as such, receives a majority of the green time.

Under Year 2027 no-build conditions, this intersection is projected to continue to operate at LOS C during the weekday morning peak hour and at LOS E during the weekday evening peak hour with increases in delay of approximately two and approximately 10 seconds, respectively. The eastbound approach is projected to continue operating at LOS F and the westbound approach is projected to continue operating at LOS E during the weekday evening peak hour.

Under Year 2027 total projected conditions, the intersection overall is projected to continue operating at LOS C during the weekday morning peak hour and at LOS E during the weekday evening peak hour with increases in delay of approximately one second and three seconds, respectively, over no-build conditions. The development is projected to increase the volume of traffic traversing this intersection by only 44 vehicles during the weekday morning peak hour and only 66 vehicles during the weekday evening peak hour. Under total projected conditions, the intersection is projected to carry 3,182 vehicles during the weekday morning peak hour and 5,124 vehicles of which only approximately one percent will be site generated traffic. (44÷3,182=1.4%, 66÷5,124=1.3%). In addition, the development is projected to increase daily traffic on Harlem Avenue by only one to two percent ((0.45x1,348)÷33,800=1.8% north of the site, ((0.20x1,348)÷39,000=0.8% south of the site). As such, the proposed development traffic will have a limited impact on the operations of this intersection.

171st Street with Oconto Avenue/USPS West Access Drive

The results of the capacity analysis indicate that the northbound (Oconto Avenue) approach currently operates at LOS B during the weekday morning and weekday evening peak hours and the southbound (USPS) approach currently operates at LOS B during the weekday morning peak hour and at LOS C during the weekday evening peak hour. Further, the eastbound and westbound left-turn movements operate at LOS B or better.

Under Year 2027 no-build and total projected conditions, the northbound and southbound approaches are projected to continue operating at the same LOS during both peak hours. Further, the eastbound and westbound movements are projected to continue to operate at LOS B or better during both peak hours. As such, the traffic projected to be generated by the proposed development will have a limited impact on the operations of this intersection an no roadway or traffic control improvements will be required.



171st Street with First Merchants Bank Access Drive

The results of the capacity analysis indicate that outbound movements from the First Merchants Bank access drive onto 171st Street currently operate at LOS B during the weekday morning peak hour.

With the completion of the planned 7-Eleven fuel center, this access drive will carry fuel center traffic entering from the south and east and returning to the west. Under Year 2027 no-build conditions, outbound movements from the access drive onto 171st Street are projected to operate at LOS C during the weekday morning and weekday evening peak hours and westbound left-turn movements from 171st Street onto the access drive are projected to operate at LOS B or better during the peak hours with 95th percentile queues of one to two vehicles.

The proposed development will provide cross access to this access drive via the planned 7-Eleven fuel center and will carry development traffic entering from the south and east and returning to the west. Under Year 2027 total projected conditions, outbound movements from the access drive onto 171st Street are projected to continue to operate at LOS C during the weekday morning and weekday evening peak hours and westbound left-turn movements from 171st Street onto the access drive are projected to continue to operate at LOS B or better during the peak hours with 95th percentile queues of one to two vehicles. As such, this access drive will be adequate in accommodating the traffic estimated to be generated by the proposed development and will ensure efficient and flexible access is provided.

171st Street with USPS East Access Drive and the 7-Eleven Right-In/Right-Out Access Drive

The results of the capacity analysis indicate that outbound movements from the east USPS access drive currently operate at LOS B during the weekday morning and weekday evening peak hours. Under Year 2027 no-build conditions, outbound movements from the east USPS access drive are projected to continue operating at LOS B during the weekday morning and weekday evening peak hours with increases in delay of approximately one second or less.

With the completion of the planned 7-Eleven fuel center, this access drive will carry fuel center traffic entering from the west and returning to the north and east. Under Year 2027 no-build conditions, the southbound (USPS) approach and the northbound (7-Eleven) approach are projected to operate at LOS B during both peak hours.

The proposed development will provide cross access to this access drive via the planned 7-Eleven fuel center and will carry development traffic entering from the west and returning to the north and east. Under Year 2027 total projected conditions, the southbound (USPS) approach and the northbound (7-Eleven) approach are projected to operate at LOS B during both peak hours. As such, this access drive will be adequate in accommodating the traffic estimated to be generated by the proposed development and will ensure efficient and flexible access is provided.



Harlem Avenue with the Tinley Park Commons Access Drive

The results of the capacity analysis indicate that westbound left-turn movements onto Harlem Avenue currently operate at LOS D during the weekday morning peak hour and LOS F during the weekday evening peak hour. This delay is typical and expected at the unsignalized intersection of an access drive and a major roadway such as Harlem Avenue. While outbound vehicles may experience some delays, a volume-to-capacity ratio (v/c) of less than one and 95th percentile queues of approximately four vehicles or less indicate that they will be able to exit. Further, westbound right-turn movements onto Harlem Avenue and southbound left-turn movements onto the access drive are projected to operate at LOS C or better during both peak hours.

Under Year 2027 total projected conditions, westbound left-turn movements are projected to continue operating at the same LOS during both peak hours. While these vehicles will continue to experience some delays, the volume-to-capacity ratio is projected to remain less than one and 95th percentile queues are not projected to exceed five vehicles. Further, westbound right-turn movements and southbound left-turn movements are projected to operate at LOS D or better during both peak hours. As such, the traffic projected to be generated by the proposed development will have a limited impact on the operations of this intersection an no roadway or traffic control improvements will be required.

Harlem Avenue with the DuPage Medical Group Access Drive

The results of the capacity analysis indicate that the eastbound approach of this intersection currently operates at LOS C during the weekday morning and weekday evening peak hours. Further, northbound left-turn movements onto the access drive are projected to operate at LOS B or better during both peak hours.

Under Year 2027 no-build and total projected conditions, the eastbound approach and northbound left-turn movements are projected to continue operating at the same LOS during both peak hours. As such, the traffic projected to be generated by the proposed development will have a limited impact on the operations of this intersection an no roadway or traffic control improvements will be required.

Harlem Avenue with the 7-Eleven Right-In/Right-Out Access Drive

As part of the planned 7-Eleven fuel center, a right-in/right-out access drive is to be provided on the west side of Harlem Avenue approximately 200 feet south of 171st Street. Under Year 2027 no-build conditions, the eastbound approach is projected to operate at LOS B during the weekday morning peak hour and LOS C during the weekday evening peak hour.

The proposed development will provide cross access to this access drive via the planned 7-Eleven fuel center. However, it is not expected that site traffic will utilize this access drive, as a separate site access drive will be provided on Harlem Avenue. Under Year 2027 total projected conditions, the eastbound approach is projected to continue to operate at LOS B during the weekday morning peak hour and LOS C during the weekday evening peak hour. As such, the traffic projected to be generated by the proposed development will have a limited impact on the operations of this intersection and no roadway or traffic control improvements will be required.



Harlem Avenue with the Proposed Right-In/Right-Out Access Drive

As proposed, a right-in/right-out access drive will be provided on Harlem Avenue approximately 425 feet south of 171st Street serving the site. This access drive will provide one inbound lane and one outbound lane with outbound movements under stop sign control. Turning movements at this access drive will be restricted to right turns only via the existing raised median along Harlem Avenue, a raised triangular "porkchop" median, and appropriate striping and signage.

Under Year 2027 total projected conditions, the eastbound approach of this intersection is projected to operate at LOS B during the weekday morning peak hour and LOS C during the weekday evening peak hour. As such, this access drive will be adequate in accommodating the traffic projected to be generated by the proposed development and will ensure efficient access is provided.

On-Site Circulation and Design

As proposed, the pick-up window will be located on the south side of the building with the order board located on the west side of the building. Vehicles will enter the drive-through lane at the northwest corner of the building and travel around the west and south sides of the building. A review of the site plan and drive-through stacking exhibit indicates that approximately five vehicles can stack from the pick-up window and approximately five vehicles can stack from the order board within the drive-through lane. Further, additional vehicles can stack within the site before reaching the right-in/right-out access drive on Harlem Avenue.

In order to determine the average and peak stacking that can be expected at the drive-through serving the proposed Starbucks coffee shop, surveys were conducted at the Starbucks located at 1048 Maple Avenue in Lisle, Illinois. **Table A**, included in the Appendix, summarizes the drive-through queue surveys in five-minute intervals. The results of the drive-through surveys indicated the following:

- During the weekday morning peak period (6:00 A.M. to 9:00 A.M.), the Starbucks had an average queue of six vehicles and a maximum queue of 11 vehicles, occurring twice.
- During the weekday midday peak period (11:30 A.M. to 1:30 P.M.), the Starbucks had an average queue of three vehicles and a maximum queue of six vehicles, occurring once.
- During the weekday evening peak period (4:00 P.M. to 6:00 P.M.), the Starbucks had an average queue of one vehicle and a maximum queue of four vehicles, occurring once.



In addition, this data was compared to data provided by Starbucks, which indicated the following:

- Starbucks drive-throughs are designed to operate most efficiently with an average queue of seven vehicles.
- Starbucks peak drive-through queues range from 10 to 12 vehicles, typically occurring between 7:00 A.M. 9:00 A.M.
- Typical service time for vehicles in the drive-through is 45 seconds.
- Starbucks traffic is typically 60 percent drive-through traffic.

This data coincides with the survey data and further confirms the average queue of approximately six vehicles and maximum queue of 11 vehicles. As such, the proposed drive-through design can accommodate the peak demand of the drive-through operation without impacting traffic flow within the site main parking lot. Should additional stacking be required, excess vehicles can be accommodated within the parking lot. If this were to occur, it would only be during the morning peak hour when the other retail uses within the building are expected to generate minimal traffic, thus not impacting and/or conflicting with their operations. While these queues will not impact traffic on Harlem Avenue, supplemental pavement markings will be provided throughout the parking lot to the delineate the route for drive-though traffic.

In order to provide efficient and orderly internal traffic flow, the following is recommended:

- Wayfinding signs directing traffic to the drive-through lane should be provided within the site, primarily near the southeast and northwest corners of the building, directing traffic to the entrance of the drive-through lane.
- "Do Not Enter" signs facing east should be posted at the exit of the drive-through lane.
- A stop sign facing west should be posted at the exit of the drive-through lane.

Parking Evaluation

As previously mentioned, the site will be developed with a 44-space surface parking lot.

Village of Tinley Park Requirements

The Tinley Park Zoning Ordinance requires a parking ratio of 6.5 parking spaces per 1,000 square feet of gross leasable space. Based on the above and the total gross leasable space of 7,279 square-feet, 47 spaces should be provided. As such, the proposed number of parking spaces is three spaces less than the Village of Tinley Park parking requirements.



ITE Parking Generation Manual

In reviewing the survey data published in the Institute of Transportation Engineers' (ITE) 5th Edition of the *Parking Generation Manual*, the following average peak parking demands were determined:

- Drive-Through Starbucks Coffee Shop (Coffee/Donut Shop with Drive-Through Window)
 - o Monday-Friday: 12 parking spaces (ratio of 5.22 spaces per 1,000 square feet)
 - Saturday: 19 parking spaces (ratio of 8.70 spaces per 1,000 square feet)
- Retail Space (Shopping Center Land Use Code 820)
 - o Monday-Thursday: 11 parking spaces (ratio of 1.95 spaces per 1,000 square feet)
 - o Friday: 14 parking spaces (ratio of 2.61 spaces per 1,000 square feet)
 - o Saturday: 16 parking spaces (ratio of 2.91 spaces per 1,000 square feet)

Based on ITE *Parking Generation Manual* rates, the proposed retail building should provide a total of 35 parking spaces to accommodate the peak parking demand (Saturday), which results in a surplus of nine parking spaces.

Based on the above, the proposed parking supply should be adequate given the following:

- The proposed supply meets the parking demand based on ITE rates.
- The proposed Starbucks coffee shop parking demands peaks in the morning while the remaining retail uses' peak parking demand typically occurs in the afternoon and evening. This offset in the peak demands will allow for sharing of parking spaces and a reduction in the overall parking demand.
- The Village of Tinley Park Zoning Ordinance parking ratios are not specific to coffee shops and do not take into consideration the usage of the drive-through. Approximately 60 percent of Starbucks traffic will be drive-through traffic during the peak hours. This will reduce the demand for parking significantly.



6. Conclusion

Based on the preceding analyses and recommendations, the following conclusions have been made:

- The development is well located with respect to the area roadway system.
- The traffic projected to be generated by the proposed development will be reduced due to the high volume of pass-by traffic.
- The development-generated traffic is only projected to increase the traffic traversing the intersection of Harlem Avenue with 171st Street by approximately one percent during the peak hours and, as such, will have a limited impact on the operations of the intersection.
- The proposed access system on Harlem Avenue with cross access to 171st Street will be adequate in accommodating the development-generated traffic and will ensure that efficient and flexible access is provided.
- The drive-through lane will provide stacking adequate in accommodating the projected peak demand of the drive-through operation without impacting through traffic on Harlem Avenue or 171st Street.
- The proposed parking supply of 44 parking spaces will be adequate in accommodating the projected peak parking demand of the proposed development.



Appendix

Traffic Count Summary Sheets
Preliminary Site Plan
CMAP 2050 Projections Letter
ITE Trip Generation Worksheets
Level of Service Criteria
Capacity Analysis Summary Sheets
Table A

Traffic Count Summary Sheets



Rosemont, Illinois, United States 60018 (847)518-9990

Count Name: 171st Street with Oconto Avenue Site Code: Start Date: 08/06/2019 Page No: 1

Turning Movement Data

			171st Eastt	Street					171st West	Street	9					Avenue bound						cess Drive bound			
Start Time	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total
7:00 AM	0	0	93	0	0	93	0	0	75	1	0	76	0	0	0	1	0	1	0	3	0	3	0	6	176
7:15 AM	0	0	114	1	0	115	0	0	72	0	0	72	0	1	0	0	0	1	0	4	0	1	0	5	193
7:30 AM	0	1	104	1	0	106	0	1	81	0	0	82	0	2	0	2	0	4	0	5	0	4	0	9	201
7:45 AM	0	0	120	0	0	120	0	0	130	0	0	130	0	0	0	2	0	2	0	5	. 1	3	0	9	261
Hourly Total	0	1	431	2	0	434	0	1	358	1	0	360	0	3	0	5	0	8	0	17	1	11	0	29	831
8:00 AM	0	0	84	0	0	84	1	0	107	3	0	111	0	1	0	1	0	2	0	3	0	4	0	7	204
8:15 AM	0	0	138	1	0	139	1	4	98	0	0	103	0	1	0	2	0	3	0	8	1	4	0	13	258
8:30 AM	0	0	150	0	0	150	0	0	121	1	0	122	0	1	0	1	0	2	0	9	0	5	0	14	288
8:45 AM	0	0	116	2	1	118	0	2	123	0	0	125	0	0	0	0	0	0	0	3	0	4	0	7	250
Hourly Total	0	0	488	3	1	491	2	6	449	4	0	461	0	3	0	4	0	7	0	23	1	17	0	41	1000
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	2	169	3	0	174	0	2	180	0	0	182	0	3	0	3	0	6	0	13	0	14	0	27	389
4:15 PM	0	0	177	5	0	182	0	1	149	1	0	151	0	2	0	4	0	6	0	15	0	11	0	26	365
4:30 PM	0	3	187	4	0	194	0	5	184	0	0	189	0	1	0	2	0	3	0	9	1	18	1	28	414
4:45 PM	0	4	189	7	0	200	0	4	170	0	0	174	0	1	0	3	0	4	0	11	0	19	0	30	408
Hourly Total	0	9	722	19	0	750	0	12	683	1	0	696	0	7	0	12	0	19	0	48	1	62	1	111	1576
5:00 PM	0	2	203	2	0	207	0	8	166	1	0	175	0	1	0	10	0	11	0	11	2	10	1	23	416
5:15 PM	0	0	200	2	0	202	0	3	181	0	0	184	0	0	0	5	0	5	0	13	0	14	0	27	418
5:30 PM	1	1	202	7	0	211	0	4	204	1	0	209	0	1	0	0	0	1	0	14	1	8	0	23	444
5:45 PM	0	0	208	5	0	213	2	3	185	2	0	192	0	0	0	0	0	0	0	11	0	12	0	23	428
Hourly Total	1	3	813	16	0	833	2	18	736	4	0	760	0	2	0	15	0	17	0	49	3	44	1	96	1706
Grand Total	1	13	2454	40	1	2508	4	37	2226	10	0	2277	0	15	0	36	0	51	0	137	6	134	2	277	5113
Approach %	0.0	0.5	97.8	1.6	-	-	0.2	1.6	97.8	0.4	-	-	0.0	29.4	0.0	70.6	-	-	0.0	49.5	2.2	48.4	-	-	-
Total %	0.0	0.3	48.0	0.8	-	49.1	0.1	0.7	43.5	0.2	-	44.5	0.0	0.3	0.0	0.7	-	1.0	0.0	2.7	0.1	2.6	-	5.4	-
Lights	1	10	2410	40	-	2461	4	35	2182	10	-	2231	0	14	0	35	-	49	0	134	6	134	-	274	5015
% Lights	100.0	76.9	98.2	100.0	-	98.1	100.0	94.6	98.0	100.0	-	98.0	-	93.3	-	97.2	-	96.1	-	97.8	100.0	100.0	-	98.9	98.1
Buses	0	0	8	0	-	8	0	0	19	0	-	19	0	0	0	1	-	1	0	0	0	0	-	0	28
% Buses	0.0	0.0	0.3	0.0	-	0.3	0.0	0.0	0.9	0.0	-	0.8	-	0.0	-	2.8	-	2.0	-	0.0	0.0	0.0	-	0.0	0.5
Single-Unit Trucks	0	3	26	0	-	29	0	2	17	0	-	19	0	1	0	0	-	1	0	0	0	0	-	0	49
% Single-Unit Trucks	0.0	23.1	1.1	0.0	-	1.2	0.0	5.4	0.8	0.0	-	0.8	-	6.7	-	0.0	-	2.0	-	0.0	0.0	0.0	-	0.0	1.0
Articulated Trucks	0	0	10	0	-	10	0	0	8	0	-	8	0	0	0	0	-	0	0	3	0	0	-	3	21
% Articulated Trucks	0.0	0.0	0.4	0.0	-	0.4	0.0	0.0	0.4	0.0	-	0.4	-	0.0	-	0.0	-	0.0	-	2.2	0.0	0.0	-	1.1	0.4
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	_	0	0	0	0	0	-	0	0



Rosemont, Illinois, United States 60018 (847)518-9990

Count Name: 171st Street with Oconto Avenue Site Code: Start Date: 08/06/2019 Page No: 3

Turning Movement Peak Hour Data (7:45 AM)

								Tull	iii ig iv	/ioveii	IGHT L	can	loui	Dala	(7.45	AIVI)									
			171st	Street					171st	Street					Oconto	Avenue			[USPS Acc	cess Drive			
			Easth	bound					West	bound					North	bound					South	bound			
Start Time	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total
7:45 AM	0	0	120	0	0	120	0	0	130	0	0	130	0	0	0	2	0	2	0	5	1	3	0	9	261
8:00 AM	0	0	84	0	0	84	1	0	107	3	0	111	0	1	0	1	0	2	0	3	0	4	0	7	204
8:15 AM	0	0	138	1	0	139	1	4	98	0	0	103	0	1	0	2	0	3	0	8	1	4	0	13	258
8:30 AM	0	0	150	0	0	150	0	0	121	1	0	122	0	1	0	1	0	2	0	9	0	5	0	14	288
Total	0	0	492	1	0	493	2	4	456	4	0	466	0	3	0	6	0	9	0	25	2	16	0	43	1011
Approach %	0.0	0.0	99.8	0.2	-	-	0.4	0.9	97.9	0.9	-	-	0.0	33.3	0.0	66.7	-	-	0.0	58.1	4.7	37.2	-	-	-
Total %	0.0	0.0	48.7	0.1	-	48.8	0.2	0.4	45.1	0.4	-	46.1	0.0	0.3	0.0	0.6	-	0.9	0.0	2.5	0.2	1.6	-	4.3	-
PHF	0.000	0.000	0.820	0.250	-	0.822	0.500	0.250	0.877	0.333	-	0.896	0.000	0.750	0.000	0.750	-	0.750	0.000	0.694	0.500	0.800	-	0.768	0.878
Lights	0	0	480	1	-	481	2	4	433	4	-	443	0	3	0	5	-	8	0	24	2	16	-	42	974
% Lights	-	-	97.6	100.0	-	97.6	100.0	100.0	95.0	100.0	-	95.1	-	100.0	-	83.3	-	88.9	-	96.0	100.0	100.0	-	97.7	96.3
Buses	0	0	4	0		4	0	0	16	0	-	16	0	0	0	1		1	0	0	0	0	-	0	21
% Buses	_	_	0.8	0.0	_	0.8	0.0	0.0	3.5	0.0	-	3.4	_	0.0	_	16.7	_	11.1	-	0.0	0.0	0.0	-	0.0	2.1
Single-Unit Trucks	0	0	7	0		7	0	0	6	0	_	6	0	0	0	0		0	0	0	0	0	_	0	13
% Single-Unit Trucks	-	-	1.4	0.0	-	1.4	0.0	0.0	1.3	0.0	-	1.3	-	0.0	-	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	1.3
Articulated Trucks	0	0	1	0	-	1	0	0	1	0	-	1	0	0	0	0	-	0	0	1	0	0	-	1	3
% Articulated Trucks	-	-	0.2	0.0	-	0.2	0.0	0.0	0.2	0.0	-	0.2	-	0.0	-	0.0	-	0.0	-	4.0	0.0	0.0	-	2.3	0.3
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Bicycles on Road	-	-	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Pedestrians	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	_	-	-	-	-	-
		•	•		-	-				-		-			-	•	•	-		-					



Rosemont, Illinois, United States 60018 (847)518-9990

Count Name: 171st Street with Oconto Avenue Site Code: Start Date: 08/06/2019 Page No: 4

Turning Movement Peak Hour Data (5:00 PM)

	1						1	iuii	mig iv	IOVCII	ICITE I	can	loui	Data	(5.00	1 1V1 <i>)</i>									1
			171st	Street					171st	Street					Oconto	Avenue			[USPS Acc	cess Drive			
			Eastl	bound					West	bound					North	bound					South	bound			
Start Time	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total
5:00 PM	0	2	203	2	0	207	0	8	166	1	0	175	0	1	0	10	0	11	0	11	2	10	1	23	416
5:15 PM	0	0	200	2	0	202	0	3	181	0	0	184	0	0	0	5	0	5	0	13	0	14	0	27	418
5:30 PM	1	1	202	7	0	211	0	4	204	1	0	209	0	1	0	0	0	1	0	14	1	8	0	23	444
5:45 PM	0	0	208	5	0	213	2	3	185	2	0	192	0	0	0	0	0	0	0	11	0	12	0	23	428
Total	1	3	813	16	0	833	2	18	736	4	0	760	0	2	0	15	0	17	0	49	3	44	1	96	1706
Approach %	0.1	0.4	97.6	1.9	-	-	0.3	2.4	96.8	0.5	-	-	0.0	11.8	0.0	88.2	-	-	0.0	51.0	3.1	45.8	-	-	-
Total %	0.1	0.2	47.7	0.9	-	48.8	0.1	1.1	43.1	0.2	-	44.5	0.0	0.1	0.0	0.9	-	1.0	0.0	2.9	0.2	2.6	-	5.6	-
PHF	0.250	0.375	0.977	0.571	-	0.978	0.250	0.563	0.902	0.500	-	0.909	0.000	0.500	0.000	0.375	-	0.386	0.000	0.875	0.375	0.786	-	0.889	0.961
Lights	1	2	802	16	-	821	2	17	736	4	-	759	0	2	0	15	-	17	0	48	3	44	-	95	1692
% Lights	100.0	66.7	98.6	100.0	-	98.6	100.0	94.4	100.0	100.0	-	99.9	-	100.0	-	100.0	-	100.0	-	98.0	100.0	100.0	-	99.0	99.2
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0		0	0	0	0	0	-	0	0
% Buses	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	_	0.0	_	0.0		0.0	-	0.0	0.0	0.0	-	0.0	0.0
Single-Unit Trucks	0	1	7	0	_	8	0	1	0	0	_	1	0	0	0	0		0	0	0	0	0	_	0	9
% Single-Unit Trucks	0.0	33.3	0.9	0.0	-	1.0	0.0	5.6	0.0	0.0	-	0.1	-	0.0	-	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.5
Articulated Trucks	0	0	4	0	-	4	0	0	0	0	-	0	0	0	0	0	-	0	0	1	0	0	-	1	5
% Articulated Trucks	0.0	0.0	0.5	0.0	-	0.5	0.0	0.0	0.0	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	2.0	0.0	0.0	-	1.0	0.3
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Bicycles on Road	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Pedestrians	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	1	-	-
% Pedestrians	-	-	_	_	-	_	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	100.0	-	-



Rosemont, Illinois, United States 60018 (847)518-9990

Count Name: 171st Street with USPS/First Merchants Bank Access Drives Site Code: Start Date: 08/06/2019 Page No: 1

Turning Movement Data

			171st Eastt	Street					171st Westl	Street				First M		Bank Acces bound	s Drive					cess Drive			
Start Time	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total
7:00 AM	0	3	95	0	0	98	0	0	79	6	0	85	0	0	0	1	0	1	0	0	0	0	0	0	184
7:15 AM	0	4	117	0	0	121	0	0	71	5	0	76	0	0	0	0	0	0	0	2	0	1	0	3	200
7:30 AM	0	5	106	0	0	111	0	0	84	7	0	91	0	0	0	0	0	0	0	1	0	1	0	2	204
7:45 AM	0	4	122	0	0	126	0	0	130	13	0	143	0	0	0	0	0	0	0	2	0	2	0	4	273
Hourly Total	0	16	440	0	0	456	0	0	364	31	0	395	0	0	0	1	0	1	0	5	0	4	0	9	861
8:00 AM	0	5	91	0	0	96	1	0	111	21	0	133	0	0	0	0	0	0	0	2	0	3	0	5	234
8:15 AM	0	9	145	0	0	154	0	0	102	26	0	128	0	0	0	0	0	0	0	1	0	1	0	2	284
8:30 AM	0	8	149	0	0	157	0	0	124	18	0	142	0	0	0	1	0	1	0	1	0	1	0	2	302
8:45 AM	0	5	122	0	0	127	0	0	121	11	0	132	0	0	0	1	0	1	0	0	0	2	0	2	262
Hourly Total	0	27	507	0	0	534	1	0	458	76	0	535	0	0	0	2	0	2	0	4	0	7	0	11	1082
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	10	175	0	0	185	0	0	170	27	0	197	0	0	0	0	0	0	0	2	0	4	0	6	388
4:15 PM	0	7	202	0	0	209	0	0	148	23	0	171	0	0	0	0	0	0	0	5	0	1	0	6	386
4:30 PM	0	7	182	0	0	189	0	0	175	26	0	201	0	0	0	2	0	2	0	3	1	8	1	12	404
4:45 PM	0	17	196	0	0	213	0	0	165	20	0	185	0	0	1	1	0	2	0	2	0	5	0	7	407
Hourly Total	0	41	755	0	0	796	0	0	658	96	0	754	0	0	1	3	0	4	0	12	1	18	1	31	1585
5:00 PM	0	7	197	0	0	204	0	0	175	18	0	193	0	0	0	0	0	0	0	1	0	7	1	8	405
5:15 PM	0	10	223	0	0	233	0	0	178	24	0	202	0	0	0	0	0	0	0	1	0	5	0	6	441
5:30 PM	0	7	198	0	0	205	0	0	207	18	0	225	0	0	0	0	0	0	0	2	0	7	0	9	439
5:45 PM	0	6	228	0	0	234	0	0	187	15	0	202	0	0	0	0	0	0	0	0	0	6	0	6	442
Hourly Total	0	30	846	0	0	876	0	0	747	75	0	822	0	0	0	0	0	0	0	4	0	25	1	29	1727
Grand Total	0	114	2548	0	0	2662	1	0	2227	278	0	2506	0	0	1	6	0	7	0	25	1	54	2	80	5255
Approach %	0.0	4.3	95.7	0.0	-	-	0.0	0.0	88.9	11.1	-	-	0.0	0.0	14.3	85.7	-	-	0.0	31.3	1.3	67.5	-	-	-
Total %	0.0	2.2	48.5	0.0	-	50.7	0.0	0.0	42.4	5.3	-	47.7	0.0	0.0	0.0	0.1	-	0.1	0.0	0.5	0.0	1.0	-	1.5	-
Lights	0	114	2502	0	-	2616	1	0	2183	275	-	2459	0	0	1	6	-	7	0	25	1	54	-	80	5162
% Lights	-	100.0	98.2	-	-	98.3	100.0	-	98.0	98.9	-	98.1	-	-	100.0	100.0	-	100.0	-	100.0	100.0	100.0	-	100.0	98.2
Buses	0	0	10	0	-	10	0	0	18	0	-	18	0	0	0	0	-	0	0	0	0	0	-	0	28
% Buses	-	0.0	0.4	_	-	0.4	0.0	-	0.8	0.0	-	0.7	-	-	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.5
Single-Unit Trucks	0	0	24	0	-	24	0	0	18	1	-	19	0	0	0	0	-	0	0	0	0	0	-	0	43
% Single-Unit Trucks	-	0.0	0.9	-	-	0.9	0.0	-	0.8	0.4	-	0.8	-	-	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.8
Articulated Trucks	0	0	12	0	-	12	0	0	8	2	-	10	0	0	0	0	-	0	0	0	0	0	-	0	22
% Articulated Trucks	-	0.0	0.5	-	-	0.5	0.0	-	0.4	0.7	-	0.4	-	-	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.4
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0



Rosemont, Illinois, United States 60018 (847)518-9990

Count Name: 171st Street with USPS/First Merchants Bank Access Drives Site Code: Start Date: 08/06/2019 Page No: 3

Turning Movement Peak Hour Data (7:45 AM)

								Tull	iii iy iv	IOVEII	ICIIL I	ean	loui	Dala	(1.40	\neg ivi)			ı						1
			171st	Street					171st	Street				First M	1erchants E	Bank Acces	s Drive				USPS Acc	cess Drive			
			Eastl	bound					West	bound					North	bound					South	bound			
Start Time	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total
7:45 AM	0	4	122	0	0	126	0	0	130	13	0	143	0	0	0	0	0	0	0	2	0	2	0	4	273
8:00 AM	0	5	91	0	0	96	1	0	111	21	0	133	0	0	0	0	0	0	0	2	0	3	0	5	234
8:15 AM	0	9	145	0	0	154	0	0	102	26	0	128	0	0	0	0	0	0	0	1	0	1	0	2	284
8:30 AM	0	8	149	0	0	157	0	0	124	18	0	142	0	0	0	1	0	1	0	1	0	1	0	2	302
Total	0	26	507	0	0	533	1	0	467	78	0	546	0	0	0	1	0	1	0	6	0	7	0	13	1093
Approach %	0.0	4.9	95.1	0.0	-	_	0.2	0.0	85.5	14.3	-	-	0.0	0.0	0.0	100.0	-	-	0.0	46.2	0.0	53.8	-	-	-
Total %	0.0	2.4	46.4	0.0	-	48.8	0.1	0.0	42.7	7.1	-	50.0	0.0	0.0	0.0	0.1	-	0.1	0.0	0.5	0.0	0.6	-	1.2	-
PHF	0.000	0.722	0.851	0.000	-	0.849	0.250	0.000	0.898	0.750	-	0.955	0.000	0.000	0.000	0.250	-	0.250	0.000	0.750	0.000	0.583	-	0.650	0.905
Lights	0	26	495	0	-	521	1	0	444	77	-	522	0	0	0	1	-	1	0	6	0	7	-	13	1057
% Lights	-	100.0	97.6	-	-	97.7	100.0	-	95.1	98.7	-	95.6	-	-	-	100.0	-	100.0	-	100.0	-	100.0	-	100.0	96.7
Buses	0	0	5	0	-	5	0	0	16	0	-	16	0	0	0	0	-	0	0	0	0	0	-	0	21
% Buses	-	0.0	1.0	_	-	0.9	0.0	-	3.4	0.0	-	2.9	-	-	-	0.0	_	0.0	-	0.0	_	0.0	-	0.0	1.9
Single-Unit Trucks	0	0	5	0	-	5	0	0	6	0	-	6	0	0	0	0	-	0	0	0	0	0	-	0	11
% Single-Unit Trucks	-	0.0	1.0	-	-	0.9	0.0	-	1.3	0.0	-	1.1	-	-	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	1.0
Articulated Trucks	0	0	2	0	-	2	0	0	1	1	-	2	0	0	0	0	-	0	0	0	0	0	-	0	4
% Articulated Trucks	-	0.0	0.4	-	-	0.4	0.0	-	0.2	1.3	-	0.4	-	-	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	0.4
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Bicycles on Road	-	0.0	0.0	-	-	0.0	0.0	-	0.0	0.0	-	0.0	-	-	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	0.0
Pedestrians	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-
% Pedestrians	-	-	-		-	-	-	-	-		-	-	-	-	-	-	-	-	-	-	-		-	-	-
% Pedestrians	-	-			-		-	-	-		-	-	-	-			-		-	-	-	-	-		



Rosemont, Illinois, United States 60018 (847)518-9990

Count Name: 171st Street with USPS/First Merchants Bank Access Drives Site Code: Start Date: 08/06/2019 Page No: 4

Turning Movement Peak Hour Data (5:00 PM)

								Turr	iing iv	loven	nent i	eak i	Hour	Data	(5:00	PIVI)									
			171st	Street					171st	Street				First M	Merchants E	Bank Acces	s Drive		[USPS Acc	cess Drive			
			Easth	oound					West	bound					North	bound			1		South	bound			
Start Time	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total
5:00 PM	0	7	197	0	0	204	0	0	175	18	0	193	0	0	0	0	0	0	0	1	0	7	1	8	405
5:15 PM	0	10	223	0	0	233	0	0	178	24	0	202	0	0	0	0	0	0	0	1	0	5	0	6	441
5:30 PM	0	7	198	0	0	205	0	0	207	18	0	225	0	0	0	0	0	0	0	2	0	7	0	9	439
5:45 PM	0	6	228	0	0	234	0	0	187	15	0	202	0	0	0	0	0	0	0	0	0	6	0	6	442
Total	0	30	846	0	0	876	0	0	747	75	0	822	0	0	0	0	0	0	0	4	0	25	1	29	1727
Approach %	0.0	3.4	96.6	0.0	-	-	0.0	0.0	90.9	9.1	-	-	0.0	0.0	0.0	0.0	-	-	0.0	13.8	0.0	86.2	-	-	-
Total %	0.0	1.7	49.0	0.0	-	50.7	0.0	0.0	43.3	4.3	-	47.6	0.0	0.0	0.0	0.0	-	0.0	0.0	0.2	0.0	1.4	-	1.7	-
PHF	0.000	0.750	0.928	0.000	-	0.936	0.000	0.000	0.902	0.781	-	0.913	0.000	0.000	0.000	0.000	-	0.000	0.000	0.500	0.000	0.893	-	0.806	0.977
Lights	0	30	833	0	-	863	0	0	745	74	-	819	0	0	0	0	-	0	0	4	0	25	-	29	1711
% Lights	-	100.0	98.5	-	-	98.5	-	-	99.7	98.7	-	99.6	-	-	-	-	-	-	-	100.0	-	100.0	-	100.0	99.1
Buses	0	0	1	0	-	1	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	1
% Buses	-	0.0	0.1	-	-	0.1	-	-	0.0	0.0	-	0.0	-	-	-	-	-	-	-	0.0	-	0.0	-	0.0	0.1
Single-Unit Trucks	0	0	7	0	-	7	0	0	2	0	-	2	0	0	0	0	-	0	0	0	0	0	-	0	9
% Single-Unit Trucks	-	0.0	0.8	-	-	0.8	-	-	0.3	0.0	-	0.2	-	-	-	-	-	-	-	0.0	-	0.0	-	0.0	0.5
Articulated Trucks	0	0	5	0	-	5	0	0	0	1	-	1	0	0	0	0	-	0	0	0	0	0	-	0	6
% Articulated Trucks	-	0.0	0.6	-	-	0.6	-	-	0.0	1.3	-	0.1	-	-	-	-	-	-	-	0.0	-	0.0	-	0.0	0.3
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Bicycles on Road	-	0.0	0.0	-	-	0.0	-	-	0.0	0.0	-	0.0	-	-	-	-	-	-	-	0.0	-	0.0	-	0.0	0.0
Pedestrians	-	-		_	0	-	-				0	-	-	-	-	_	0	-	-	_		-	1	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	100.0	-	-



Rosemont, Illinois, United States 60018 (847)518-9990

Count Name: Harlem Avenue with 171st Street Site Code: Start Date: 08/06/2019 Page No: 1

Turning Movement Data

			171st	Street			171st Street Harlem Avenue Harlem Avenue																		
			Easth	ound					Westl	bound					North	bound					South	bound			
Start Time	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total
7:00 AM	0	35	42	23	0	100	0	31	31	9	0	71	0	29	136	2	0	167	0	11	156	15	0	182	520
7:15 AM	0	22	45	40	0	107	0	30	25	8	0	63	0	28	211	13	0	252	0	7	205	24	0	236	658
7:30 AM	0	34	53	26	0	113	0	34	36	12	0	82	1	27	177	11	0	216	0	16	220	26	1	262	673
7:45 AM	0	39	46	35	0	120	0	27	47	12	0	86	0	46	208	14	0	268	0	25	240	46	0	311	785
Hourly Total	0	130	186	124	0	440	0	122	139	41	0	302	1	130	732	40	0	903	0	59	821	111	1	991	2636
8:00 AM	0	35	27	32	0	94	0	24	63	13	0	100	0	42	194	10	0	246	0	13	157	28	0	198	638
8:15 AM	0	51	49	36	0	136	0	31	31	7	0	69	0	52	205	13	0	270	0	17	211	38	0	266	741
8:30 AM	0	62	59	37	0	158	0	33	60	19	0	112	0	42	178	13	0	233	0	16	145	39	0	200	703
8:45 AM	0	30	41	31	0	102	0	26	43	20	0	89	0	48	195	11	0	254	0	9	166	41	0	216	661
Hourly Total	0	178	176	136	0	490	0	114	197	59	0	370	0	184	772	47	0	1003	0	55	679	146	0	880	2743
*** BREAK ***	-	-	-	_	-	-	-	-	_	-	-	_	-	-	_		-	-	-	-	_	_	-	-	-
4:00 PM	0	51	93	35	0	179	0	37	92	16	0	145	0	41	277	23	0	341	0	36	269	56	0	361	1026
4:15 PM	0	62	81	52	0	195	0	42	86	29	0	157	0	36	262	28	0	326	0	31	256	51	0	338	1016
4:30 PM	0	50	92	41	0	183	1	55	80	14	0	150	0	62	332	33	0	427	0	28	289	58	0	375	1135
4:45 PM	0	55	86	65	0	206	0	68	80	22	0	170	0	53	302	36	0	391	0	35	267	43	0	345	1112
Hourly Total	0	218	352	193	0	763	1	202	338	81	0	622	0	192	1173	120	0	1485	0	130	1081	208	0	1419	4289
5:00 PM	0	50	90	46	0	186	0	57	71	17	0	145	0	40	325	38	0	403	0	30	313	61	0	404	1138
5:15 PM	0	66	107	52	0	225	0	64	86	14	0	164	0	57	314	31	0	402	0	47	295	66	0	408	1199
5:30 PM	0	54	85	59	0	198	0	61	89	15	0	165	0	69	303	22	0	394	0	30	273	52	0	355	1112
5:45 PM	0	61	87	61	0	209	0	61	81	10	0	152	1	62	350	29	0	442	0	34	287	59	0	380	1183
Hourly Total	0	231	369	218	0	818	0	243	327	56	0	626	1	228	1292	120	0	1641	0	141	1168	238	0	1547	4632
Grand Total	0	757	1083	671	0	2511	1	681	1001	237	0	1920	2	734	3969	327	0	5032	0	385	3749	703	1	4837	14300
Approach %	0.0	30.1	43.1	26.7	-	-	0.1	35.5	52.1	12.3	-	_	0.0	14.6	78.9	6.5	-	-	0.0	8.0	77.5	14.5	-	-	-
Total %	0.0	5.3	7.6	4.7	-	17.6	0.0	4.8	7.0	1.7	-	13.4	0.0	5.1	27.8	2.3	-	35.2	0.0	2.7	26.2	4.9	-	33.8	-
Lights	0	740	1072	656	-	2468	1	674	985	230	-	1890	2	719	3858	319	-	4898	0	382	3641	685	-	4708	13964
% Lights	-	97.8	99.0	97.8	-	98.3	100.0	99.0	98.4	97.0	-	98.4	100.0	98.0	97.2	97.6	-	97.3	-	99.2	97.1	97.4	-	97.3	97.7
Buses	0	5	4	0	-	9	0	0	4	1	-	5	0	5	11	2	-	18	0	0	9	8	-	17	49
% Buses	-	0.7	0.4	0.0	-	0.4	0.0	0.0	0.4	0.4	-	0.3	0.0	0.7	0.3	0.6	-	0.4	-	0.0	0.2	1.1	-	0.4	0.3
Single-Unit Trucks	0	5	6	8	-	19	0	6	10	5	-	21	0	3	54	5	-	62	0	2	59	7	-	68	170
% Single-Unit Trucks	•	0.7	0.6	1.2	-	0.8	0.0	0.9	1.0	2.1	-	1.1	0.0	0.4	1.4	1.5	-	1.2	-	0.5	1.6	1.0	-	1.4	1.2
Articulated Trucks	0	7	1	7	-	15	0	1	2	1	-	4	0	7	46	1	-	54	0	1	40	3	-	44	117
% Articulated Trucks	-	0.9	0.1	1.0	-	0.6	0.0	0.1	0.2	0.4	-	0.2	0.0	1.0	1.2	0.3	-	1.1	-	0.3	1.1	0.4	-	0.9	0.8
Bicycles on Road	0	0	0	0		0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0



Rosemont, Illinois, United States 60018 (847)518-9990

Count Name: Harlem Avenue with 171st Street Site Code: Start Date: 08/06/2019 Page No: 3

Turning Movement Peak Hour Data (7:45 AM)

								Tun	iii ig iv	IOVEII	HELLI I	ean i	loui	Jala	(7.45	MIVI)									
			171st	Street					171st	Street			Harlem Avenue					Harlem Avenue							
			East	bound			Westbound					Northbound					Southbound								
Start Time	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total
7:45 AM	0	39	46	35	0	120	0	27	47	12	0	86	0	46	208	14	0	268	0	25	240	46	0	311	785
8:00 AM	0	35	27	32	0	94	0	24	63	13	0	100	0	42	194	10	0	246	0	13	157	28	0	198	638
8:15 AM	0	51	49	36	0	136	0	31	31	7	0	69	0	52	205	13	0	270	0	17	211	38	0	266	741
8:30 AM	0	62	59	37	0	158	0	33	60	19	0	112	0	42	178	13	0	233	0	16	145	39	0	200	703
Total	0	187	181	140	0	508	0	115	201	51	0	367	0	182	785	50	0	1017	0	71	753	151	0	975	2867
Approach %	0.0	36.8	35.6	27.6	-	-	0.0	31.3	54.8	13.9	-	-	0.0	17.9	77.2	4.9	-	-	0.0	7.3	77.2	15.5	-	-	-
Total %	0.0	6.5	6.3	4.9	-	17.7	0.0	4.0	7.0	1.8	-	12.8	0.0	6.3	27.4	1.7	-	35.5	0.0	2.5	26.3	5.3	-	34.0	-
PHF	0.000	0.754	0.767	0.946	-	0.804	0.000	0.871	0.798	0.671	-	0.819	0.000	0.875	0.944	0.893	-	0.942	0.000	0.710	0.784	0.821	-	0.784	0.913
Lights	0	179	177	139	-	495	0	114	192	50	-	356	0	177	747	47	-	971	0	71	709	140	-	920	2742
% Lights	-	95.7	97.8	99.3	-	97.4	-	99.1	95.5	98.0	-	97.0	-	97.3	95.2	94.0	-	95.5	-	100.0	94.2	92.7	-	94.4	95.6
Buses	0	4	1	0		5	0	0	4	0		4	0	4	3	1		8	0	0	5	7	-	12	29
% Buses	-	2.1	0.6	0.0	_	1.0	-	0.0	2.0	0.0		1.1	-	2.2	0.4	2.0	_	0.8	-	0.0	0.7	4.6	_	1.2	1.0
Single-Unit Trucks	0	2	3	1	_	6	0	1	4	1		6	0	1	20	2	_	23	0	0	19	3	_	22	57
% Single-Unit Trucks	-	1.1	1.7	0.7	-	1.2	-	0.9	2.0	2.0	-	1.6	-	0.5	2.5	4.0	-	2.3	-	0.0	2.5	2.0	-	2.3	2.0
Articulated Trucks	0	2	0	0	-	2	0	0	1	0	-	1	0	0	15	0	-	15	0	0	20	1	-	21	39
% Articulated Trucks	-	1.1	0.0	0.0	-	0.4	-	0.0	0.5	0.0	-	0.3	-	0.0	1.9	0.0	-	1.5	-	0.0	2.7	0.7	-	2.2	1.4
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Bicycles on Road	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Pedestrians	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-
% Pedestrians	-		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-



Rosemont, Illinois, United States 60018 (847)518-9990

Count Name: Harlem Avenue with 171st Street Site Code: Start Date: 08/06/2019 Page No: 4

Turning Movement Peak Hour Data (5:00 PM)

								Tun	iii ig iv	IOVCII	ICIT I	can	loui	Data	(3.00	1 1V1 <i>)</i>									
			171st	Street					171st	Street			Harlem Avenue					Harlem Avenue							
			East	bound					West	bound					North	bound					South	bound			
Start Time	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total
5:00 PM	0	50	90	46	0	186	0	57	71	17	0	145	0	40	325	38	0	403	0	30	313	61	0	404	1138
5:15 PM	0	66	107	52	0	225	0	64	86	14	0	164	0	57	314	31	0	402	0	47	295	66	0	408	1199
5:30 PM	0	54	85	59	0	198	0	61	89	15	0	165	0	69	303	22	0	394	0	30	273	52	0	355	1112
5:45 PM	0	61	87	61	0	209	0	61	81	10	0	152	1	62	350	29	0	442	0	34	287	59	0	380	1183
Total	0	231	369	218	0	818	0	243	327	56	0	626	1	228	1292	120	0	1641	0	141	1168	238	0	1547	4632
Approach %	0.0	28.2	45.1	26.7	-	-	0.0	38.8	52.2	8.9	-	-	0.1	13.9	78.7	7.3	-	-	0.0	9.1	75.5	15.4	-	-	-
Total %	0.0	5.0	8.0	4.7	-	17.7	0.0	5.2	7.1	1.2	-	13.5	0.0	4.9	27.9	2.6	-	35.4	0.0	3.0	25.2	5.1	-	33.4	-
PHF	0.000	0.875	0.862	0.893	-	0.909	0.000	0.949	0.919	0.824	-	0.948	0.250	0.826	0.923	0.789	-	0.928	0.000	0.750	0.933	0.902	-	0.948	0.966
Lights	0	228	368	211	-	807	0	239	327	56	-	622	1	226	1272	118	-	1617	0	141	1155	237	-	1533	4579
% Lights	-	98.7	99.7	96.8	-	98.7	-	98.4	100.0	100.0	-	99.4	100.0	99.1	98.5	98.3	-	98.5	-	100.0	98.9	99.6	-	99.1	98.9
Buses	0	1	0	0	-	1	0	0	0	0	-	0	0	0	2	0	-	2	0	0	1	0	-	1	4
% Buses	-	0.4	0.0	0.0	-	0.1	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.2	0.0	-	0.1	-	0.0	0.1	0.0	-	0.1	0.1
Single-Unit Trucks	0	0	0	3	-	3	0	3	0	0	-	3	0	1	10	1	-	12	0	0	7	1	-	8	26
% Single-Unit Trucks	-	0.0	0.0	1.4	-	0.4	-	1.2	0.0	0.0	-	0.5	0.0	0.4	0.8	0.8	-	0.7	-	0.0	0.6	0.4	-	0.5	0.6
Articulated Trucks	0	2	1	4	-	7	0	1	0	0	-	1	0	1	8	1	-	10	0	0	5	0	-	5	23
% Articulated Trucks	-	0.9	0.3	1.8	-	0.9	-	0.4	0.0	0.0	-	0.2	0.0	0.4	0.6	0.8	-	0.6	-	0.0	0.4	0.0	-	0.3	0.5
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Bicycles on Road	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Pedestrians	-	-	-	_	0	_	-	-	-	_	0	-	-	-	-	-	0	_	-	-	-	-	0	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-

Tinley Park, IL Weather: Cool and Dry Harlem Ave and DuPage Medical Group Access

Friday/Monday 3-26-21 and 3-29-21

03/29/21 11:14:37

TURNS/TEAPAC[Ver 3.61.12] - 15-Minute Counts: All Vehicles - by Mvmt

Intersection # 5 harlem/dupagemed

Begin	N-2	Appro	ach	E-2	Approa	ach	S-1	Approa	ach	W-2	Appro	ach	Int
Time	RT	TH	LT	RT	TH	LT	RT	TH	LT	RT	TH	LT	Total
=====	=====		====	=====		====	=====					====	=====
700	0	0	0	0	0	0	0	0	0	0	0	0	0
715	0	0	0	0	0	0	0	0	3	0	0	0	3
730	1	0	0	0	0	0	0	0	3	1	0	0	5
745	3	0	0	0	0	0	0	0	1	0	0	0	4
800	1	0	0	0	0	0	0	0	1	0	0	1	3
815	1	0	0	0	0	0	0	0	3	0	0	0	4
830	1	0	0	0	0	0	0	0	1	0	0	1	3
845	2	0	0	0	0	0	0	0	1	1	0	0	4
1600	0	0	0	0	0	0	0	0	0	0	0	0	0
1615	0	0	0	0	0	0	0	0	0	0	0	0	0
1630	0	0	0	0	0	0	0	0	0	0	0	0	0
1645	0	0	0	0	0	0	0	0	0	1	0	0	1
1700	1	0	0	0	0	0	0	0	0	2	0	0	3
1715	0	0	0	0	0	0	0	0	0	0	0	0	0
1730	1	0	0	0	0	0	0	0	0	0	0	0	1
1745	1	0	0	0	0	0	0	0	0	0	0	0	1
=====	=====	=====	====	=====	=====	====	=====	=====	====	=====	=====	====	=====
Total	12	0	0	0	0	0	0	0	13	5	0	2	32

TURNS/TEAPAC[Ver 3.61.12] - 15-Minute Counts: All Vehicles - Totals

Intersection # 5 harlem/dupagemed

Begin	A	pproach	Totals			Exit T	otals		Int
Time	N	E	S	W	N	E	S	W	Total
700	0	0	0	0	0	0	0	0	0
715	0	0	3	0	0	0	0	3	3
730	1	0	3	1	0	0	1	4	5
745	3	0	1	0	0	0	0	4	4
800	1	0	1	1	1	0	0	2	3
815	1	0	3	0	0	0	0	4	4
830	1	0	1	1	1	0	0	2	3
845	2	0	1	1	0	0	1	3	4
1600	0	0	0	0	0	0	0	0	0
1615	0	0	0	0	0	0	0	0	0
1630	0	0	0	0	0	0	0	0	0
1645	0	0	0	1	0	0	1	0	1
1700	1	0	0	2	0	0	2	1	3
1715	0	0	0	0	0	0	0	0	0
1730	1	0	0	0	0	0	0	1	1
1745	1	0	0	0	0	0	0	1	1
===== Total	12	0	 13	7	2	 0	5	2 5	32

Tinley Park, IL Weather: Cool and Dry

Harlem Ave and Jewel Osco Access Friday/Monday 3-26-21 and 3-29-21

03/29/21 11:10:58

TURNS/TEAPAC[Ver 3.61.12] - 15-Minute Counts: All Vehicles - by Mvmt

Intersection # 4 harlem/jeweloscoacc

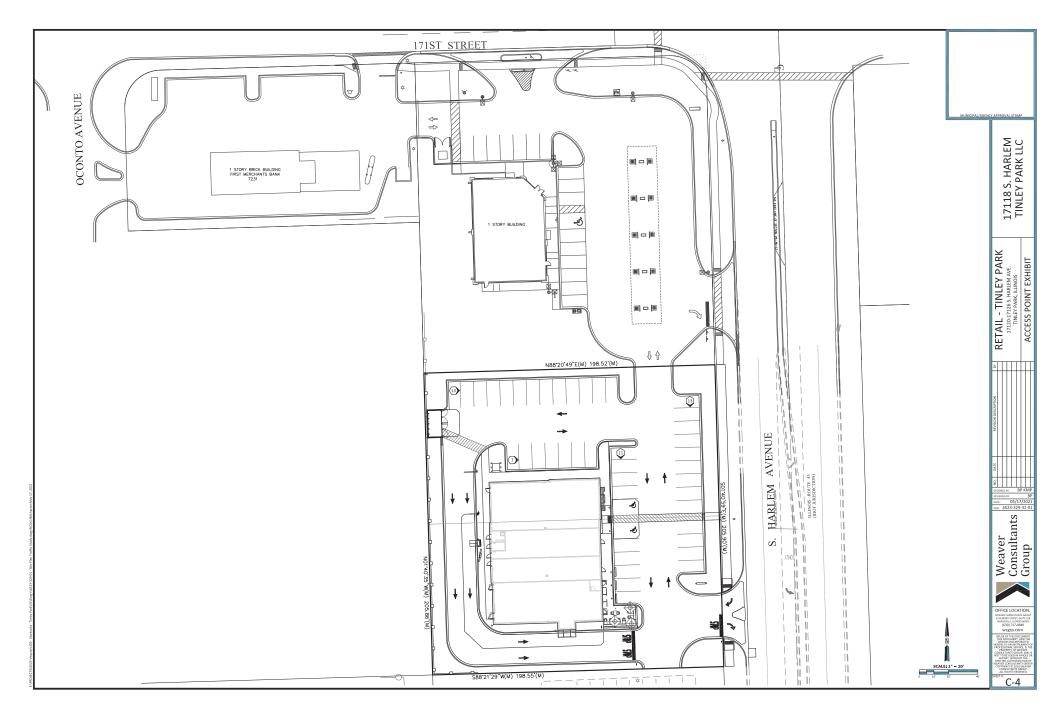
Begin	N-	-Appro	ach	E-2	Appro	ach	s	-Appro	ach	W-2	Approa	ach	Int
Time	RT	TH	LT	RT	TH	LT	RT	TH	LT	RT	TH	LT	Total
=====	====		====	=====		====	====		====	=====		====	=====
700	0	153	1	3	0	1	8	197	0	0	0	0	363
715	0	196	3	4	0	2	9	194	0	0	0	0	408
730	0	263	3	7	0	3	8	204	0	0	0	0	488
745	0	227	4	5	0	1	8	241	0	0	0	0	486
800	0	186	4	5	0	3	8	200	0	0	0	0	406
815	0	201	3	10	0	4	11	213	0	0	0	0	442
830	0	202	10	5	0	2	13	253	0	0	0	0	485
845	0	204	7	4	0	5	10	237	0	0	0	0	467
1600	0	305	15	20	0	13	23	350	0	0	0	0	726
1615	0	317	17	17	0	14	23	355	0	0	0	0	743
1630	0	298	15	24	0	7	27	368	0	0	0	0	739
1645	0	321	11	16	0	12	21	386	0	0	0	0	767
1700	0	383	12	10	0	20	25	384	0	0	0	0	834
1715	0	314	8	21	0	13	19	360	0	0	0	0	735
1730	0	348	9	16	0	9	20	342	0	0	0	0	744
1745	0	322	6	13	0	10	21	315	0	0	0	0	687
=====	====	=====	====	=====		====	====	=====	====	=====	=====	====	=====
Total	0	4240	128	180	0	119	254	4599	0	0	0	0	9520

TURNS/TEAPAC[Ver 3.61.12] - 15-Minute Counts: All Vehicles - Totals

Intersection # 4 harlem/jeweloscoacc

Begin		Approac	ch Totals	}		Exit	Totals		Int
Time	N	E	S	W	N	E	S	W	Total
700	 154	4	205	0	200	9	 154	0	363
715	199	6	203	0	198	12	198	0	408
730	266	10	212	0	211	11	266	0	488
745	231	6	249	0	246	12	228	0	486
800	190	8	208	0	205	12	189	0	406
815	204	14	224	0	223	14	205	0	442
830	212	7	266	0	258	23	204	0	485
845	211	9	247	0	241	17	209	0	467
1600	 320	33	 373	0	370	38	 318	0	726
1615	334	31	378	0	372	40	331	0	743
1630	313	31	395	0	392	42	305	0	739
1645	332	28	407	0	402	32	333	0	767
1700	395	30	409	0	394	37	403	0	834
1715	322	34	379	0	381	27	327	0	735
1730	357	25	362	0	358	29	357	0	744
1745	328	23	336	0	328	27	332	0	687
Total	 4368	299	 4853	0	4779	382	4359	0	9520

Preliminary Site Plan



CMAP 2050 Projections Letter



433 West Van Buren Street Suite 450 Chicago, IL 60607

> 312-454-0400 cmap.illinois.gov

March 26, 2021

Andrew Bowen Traffic Engineer Kenig, Lindgren, O'Hara and Aboona, Inc. 9575 West Higgins Road Suite 400 Rosemont, IL 60018

Subject: 171st Street @ Harlem Avenue

IDOT

Dear Mr. Bowen:

In response to a request made on your behalf and dated March 26, 2021, we have developed year 2050 average daily traffic (ADT) projections for the subject location.

ROAD SEGMENT	Current Volumes	Year 2050 ADT
Harlem Ave north of 171st St	33,800	44,300
Harlem Ave south of 171st St	33,900	41,800
171st St west of Harlem Ave	16,000	21,000
171st St east of Harlem Ave	11,800	14,200

Traffic projections are developed using existing ADT data provided in the request letter and the results from the June 2020 CMAP Travel Demand Analysis. The regional travel model uses CMAP 2050 socioeconomic projections and assumes the implementation of the ON TO 2050 Comprehensive Regional Plan for the Northeastern Illinois area. The provision of this data in support of your request does not constitute a CMAP endorsement of the proposed development or any subsequent developments.

If you have any questions, please call me at (312) 386-8806.

Sincerely,

Jose Rodriguez, PTP, AICP

Senior Planner, Research & Analysis

cc: Quigley (IDOT)

2021_CY_TrafficForecast\TinleyPark\ck-41-21\ck-41-21.docx

ITE Trip Generation Worksheets

Coffee/Donut Shop with Drive-Through Window (937)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA On a: Weekday

Setting/Location: General Urban/Suburban

Number of Studies: 1000 Sq. Ft. GFA: 2

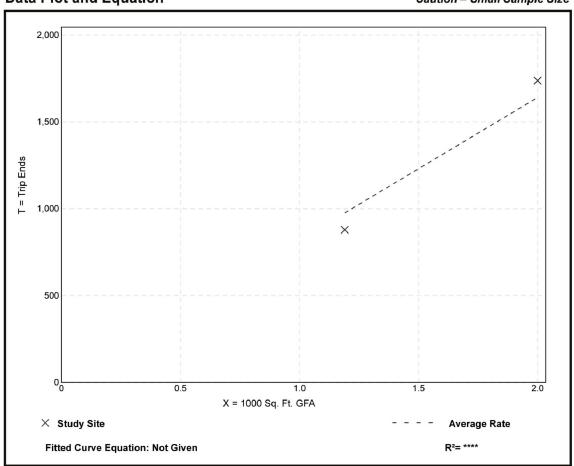
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
820.38	738.66 - 869.00	*

Data Plot and Equation

Caution - Small Sample Size



Coffee/Donut Shop with Drive-Through Window (937)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.

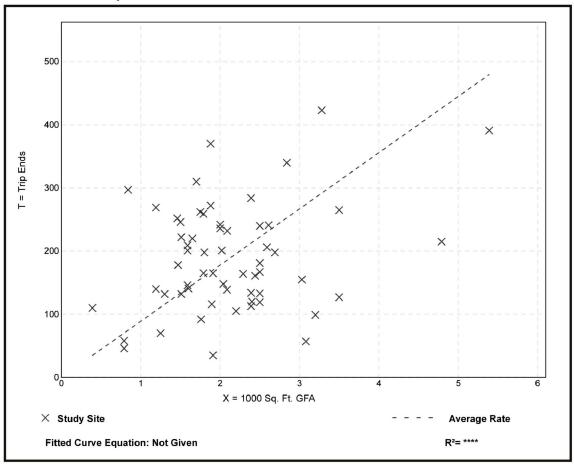
Setting/Location: General Urban/Suburban

Number of Studies: 1000 Sq. Ft. GFA:

Directional Distribution: 51% entering, 49% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
88.99	18.32 - 353.57	48.19



Coffee/Donut Shop with Drive-Through Window (937)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.

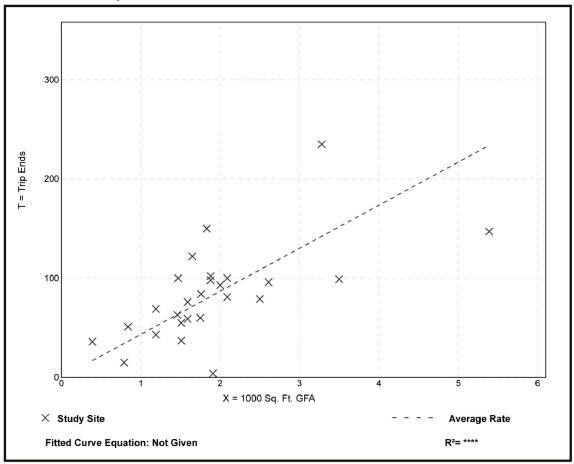
Setting/Location: General Urban/Suburban

Number of Studies: 1000 Sq. Ft. GFA:

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
43.38	2.09 - 92.31	18.88



Shopping Center (820)

Vehicle Trip Ends vs: 1000 Sq. Ft. GLA On a: Weekday

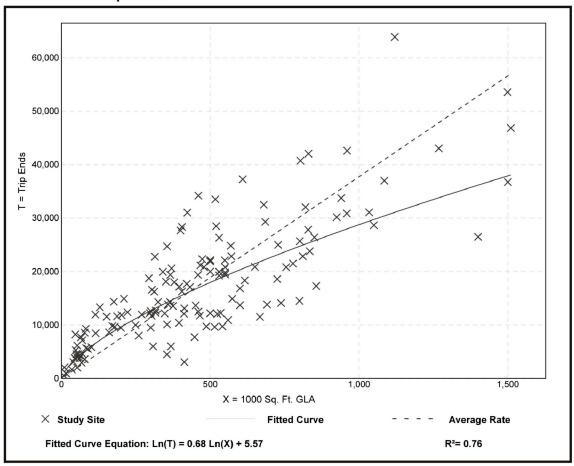
Setting/Location: General Urban/Suburban

Number of Studies: 1000 Sq. Ft. GLA: 453

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GLA

Average Rate	Range of Rates	Standard Deviation
37.75	7.42 - 207.98	16.41



Shopping Center (820)

Vehicle Trip Ends vs: 1000 Sq. Ft. GLA

On a: Weekday,

Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.

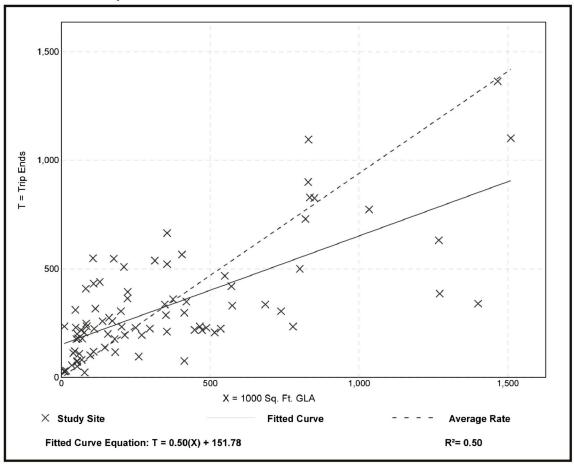
Setting/Location: General Urban/Suburban

Number of Studies: 351 1000 Sq. Ft. GLA:

Directional Distribution: 62% entering, 38% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GLA

Average Rate	Range of Rates	Standard Deviation
0.94	0.18 - 23.74	0.87



Shopping Center (820)

Vehicle Trip Ends vs: 1000 Sq. Ft. GLA

On a: Weekday,

Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.

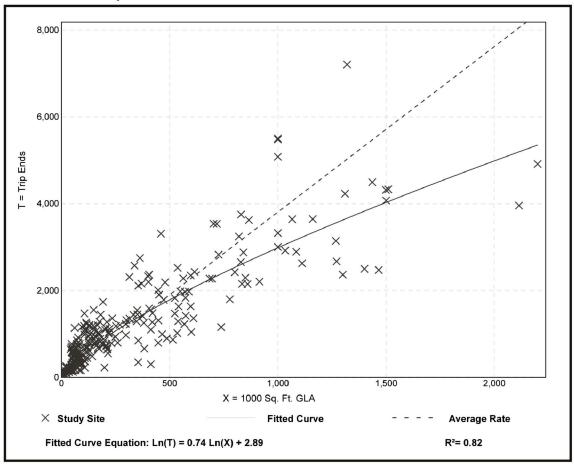
Setting/Location: General Urban/Suburban

Number of Studies: 261 1000 Sq. Ft. GLA: 327

Directional Distribution: 48% entering, 52% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GLA

Average Rate	Range of Rates	Standard Deviation
3.81	0.74 - 18.69	2.04



Level of Service Criteria

LEVEL OF SERVICE CRITERIA

		gnalized Intersections
		Average Control
Level of		Delay
Service A	Favorable progression. Most vehicles arrive during the	(seconds per vehicle) ≤10
71	green indication and travel through the intersection	210
	without stopping.	
В	Good progression, with more vehicles stopping than for	>10 - 20
	Level of Service A.	
С	Individual cycle failures (i.e., one or more queued	>20 - 35
	vehicles are not able to depart as a result of insufficient capacity during the cycle) may begin to appear.	
	Number of vehicles stopping is significant, although many	
	vehicles still pass through the intersection without	
	stopping.	
D	The volume-to-capacity ratio is high and either	>35 - 55
	progression is ineffective or the cycle length is too long. Many vehicles stop and individual cycle failures are	
	noticeable.	
E	Progression is unfavorable. The volume-to-capacity ratio	>55 - 80
	is high and the cycle length is long. Individual cycle	
	failures are frequent.	
F	The volume-to-capacity ratio is very high, progression is	>80.0
	very poor, and the cycle length is long. Most cycles fail to clear the queue.	
		gnalized Intersections
	Level of Service Average To	otal Delay (SEC/VEH)
	A	0 - 10
	В	> 10 - 15
	C	> 15 - 25
	D	> 25 - 35
	E	> 35 - 50
	F	> 50
	Source: Highw	ay Capacity Manual, 2010.

Capacity Analysis Summary Sheets Existing Weekday Morning Peak Hour Conditions

Lanes, Volumes, Timings 1: Harlem Avenue & 171st Street

Lanes, Volumes, Timings

1: Harlem Avenue & 171st Street

04/01/2021

	•	-	•	•	←	•	1	†	1	-	ļ	4
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
v/c Ratio	0.61	0.60		0.43	0.60		0.60	0.52		0.22	0.63	
Control Delay	39.1	49.0		34.0	53.0		18.1	21.3		11.7	26.8	
Queue Delay	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Total Delay	39.1	49.0		34.0	53.0		18.1	21.3		11.7	26.8	
LOS	D	D		С	D		В	С		В	С	
Approach Delay		45.4			47.2			20.8			25.7	
Approach LOS		D			D			С			С	
Queue Length 50th (ft)	124	137		72	113		64	252		23	307	
Queue Length 95th (ft)	180	178		115	152		112	354		48	421	
Internal Link Dist (ft)		149			709			487			436	
Turn Bay Length (ft)	160			150			160			190		
Base Capacity (vph)	352	831		310	704		344	1799		397	1595	
Starvation Cap Reductn	0	0		0	0		0	0		0	0	
Spillback Cap Reductn	0	0		0	0		0	0		0	0	
Storage Cap Reductn	0	0		0	0		0	0		0	0	
Reduced v/c Ratio	0.59	0.44		0.42	0.42		0.59	0.52		0.20	0.63	

Intersection Summary

Area Type: Other

Cycle Length: 120

Actuated Cycle Length: 120

Offset: 0 (0%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green

Natural Cycle: 75

Control Type: Actuated-Coordinated

Maximum v/c Ratio: 0.63

Intersection Signal Delay: 30.3
Intersection Capacity Utilization 71.1%

Intersection LOS: C
ICU Level of Service C

Analysis Period (min) 15

Splits and Phases: 1: Harlem Avenue & 171st Street



2: 171st Street & USPS East Access Drive

Intersection						
Int Delay, s/veh	0.4					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations	LDL	41	₩	אטא	SDL W	אומט
Traffic Vol, veh/h	26	4 T 516	T → 475	78	T	7
Future Vol, veh/h	26	516	475	78	6	7
Conflicting Peds, #/hr	0	0	4/5	0	0	0
Sign Control	Free	Free	Free	Free	Stop	
RT Channelized						Stop
	-		-		-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage	, # -	0	0	-	1	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	91	91	91	91	91	91
Heavy Vehicles, %	0	2	5	1	0	0
Mvmt Flow	29	567	522	86	7	8
Major/Minor N	/lajor1	N	Major2	N	Minor2	
Conflicting Flow All	608	0	-	0	907	304
Stage 1	-	-	_	-	565	-
Stage 2	_	_	_	_	342	_
Critical Hdwy	4.1	-	_	_	6.8	6.9
	4.1	_	_	_	5.8	0.9
Critical Hdwy Stg 1						
Critical Hdwy Stg 2	-	-	-	-	5.8	-
Follow-up Hdwy	2.2	-	-	-	3.5	3.3
Pot Cap-1 Maneuver	980	-	-	-	279	698
Stage 1	-	-	-	-	538	-
Stage 2	-	-	-	-	697	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	980	-	-	-	267	698
Mov Cap-2 Maneuver	-	-	-	-	384	-
Stage 1	-	-	-	-	515	-
Stage 2	-	-	-	-	697	-
Annroach	EB		WB		SB	
Approach						
HCM Control Delay, s	0.6		0		12.3	
HCM LOS					В	
Minor Lane/Major Mvm	t	EBL	EBT	WBT	WBR S	SBLn1
Capacity (veh/h)		980	-	_	-	507
HCM Lane V/C Ratio		0.029	-	-	_	0.028
HCM Control Delay (s)		8.8	0.2	_	-	12.3
HCM Lane LOS		A	A	_	_	В
HCM 95th %tile Q(veh)		0.1	-	-	-	0.1
7000 ((1011)		J .,				J .,

3: First Merchant Bank Access Drive & 171st Street

Intersection						
Int Delay, s/veh	0					
		EDD	///DI	WDT	NDI	NBR
	EBT	EBR	WBL	WBT	NBL	NBK
Lane Configurations	†	^	^	4100	¥	
Traffic Vol, veh/h	541	0	0	482	0	1
Future Vol, veh/h	541	0	0	482	0	1
Conflicting Peds, #/hr	_ 0	_ 0	0	_ 0	0	0
	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage,		-	-	0	1	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	91	91	91	91	91	91
Heavy Vehicles, %	2	0	0	5	0	0
Mvmt Flow	595	0	0	530	0	1
Major/Minor Ma	ajor1	N	Major2	N	/linor1	
Conflicting Flow All	0	0	595	0	860	298
Stage 1	-	-	-	-	595	230
Stage 2		_	_	_	265	_
		-	4.1		6.8	6.9
Critical Hdwy	-	-	4.1	-		
Critical Hdwy Stg 1	-	-	-	-	5.8	-
Critical Hdwy Stg 2	-	-	-	-	5.8	-
Follow-up Hdwy	-	-	2.2	-	3.5	3.3
Pot Cap-1 Maneuver	-	-	991	-	299	704
Stage 1	-	-	-	-	519	-
Stage 2	-	-	-	-	761	-
Platoon blocked, %	-	-		-		
Mov Cap-1 Maneuver	-	-	991	-	299	704
Mov Cap-2 Maneuver	-	-		-	409	-
Stage 1	-	-	-	-	519	-
Stage 2	-	-	-	-	761	-
Approach	ED		WD		ND	
Approach	EB		WB		NB 10.1	
HCM Control Delay, s	0		0		10.1	
HCM LOS					В	
Minor Lane/Major Mvmt	1	NBLn1	EBT	EBR	WBL	WBT
Capacity (veh/h)		704	-		991	_
HCM Lane V/C Ratio		0.002	_	_	-	<u>-</u>
HCM Control Delay (s)		10.1	_	_	0	_
HCM Lane LOS		В	_	_	A	_
LIGINI LUITO LUO			-			
HCM 95th %tile Q(veh)		0	_	_	0	-

4: Oconto Avenue/USPS West Access Drive & 171st Street

Intersection												
Int Delay, s/veh	0.7											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		414		ሻ	ħβ			4			4	
Traffic Vol, veh/h	0	510	1	6	472	4	3	0	6	25	2	16
Future Vol, veh/h	0	510	1	6	472	4	3	0	6	25	2	16
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	50	-	-	-	-	-	-	-	-
Veh in Median Storage,	,# -	0	-	-	0	-	-	1	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	88	88	88	88	88	88	88	88	88	88	88	88
Heavy Vehicles, %	0	2	0	0	5	0	0	0	17	4	0	0
Mvmt Flow	0	580	1	7	536	5	3	0	7	28	2	18
Major/Minor N	/lajor1		<u> </u>	Major2		<u> </u>	/linor1		N	/linor2		
Conflicting Flow All	541	0	0	581	0	0	864	1136	291	843	1134	271
Stage 1	-	-	-	-	-	-	581	581	-	553	553	-
Stage 2	-	-	-	-	-	-	283	555	-	290	581	-
Critical Hdwy	4.1	-	-	4.1	-	-	7.5	6.5	7.24	7.58	6.5	6.9
Critical Hdwy Stg 1	-	-	-	-	-	-	6.5	5.5	-	6.58	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.5	5.5	-	6.58	5.5	-
Follow-up Hdwy	2.2	-	-	2.2	-	-	3.5	4	3.47	3.54	4	3.3
Pot Cap-1 Maneuver	1038	-	-	1003	-	-	251	204	663	254	204	733
Stage 1	-	-	-	-	-	-	472	503	-	480	518	-
Stage 2	-	-	-	-	-	-	706	516	-	688	503	-
Platoon blocked, %		-	-		-	-						
Mov Cap-1 Maneuver	1038	-	-	1003	-	-	242	203	663	250	203	733
Mov Cap-2 Maneuver	-	-	-	-	-	-	359	324	-	364	323	-
Stage 1	-	-	-	-	-	-	472	503	-	480	514	-
Stage 2	-	-	-	-	-	-	681	512	-	681	503	-
Approach	EB			WB			NB			SB		
HCM Control Delay, s	0			0.1			12.1			14.1		
HCM LOS							В			В		
Minor Lane/Major Mvm	<u>t</u>	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBL _{n1}			
Capacity (veh/h)		517	1038	-	-	1003	-	-	445			
HCM Lane V/C Ratio		0.02	-	-	-	0.007	-	-	0.11			
HCM Control Delay (s)		12.1	0	-	-	8.6	-	-	14.1			
HCM Lane LOS		В	Α	-	-	Α	-	-	В			
HCM 95th %tile Q(veh)		0.1	0	-	-	0	-	-	0.4			

5: Harlem Avenue & Tinley Park Commons Access Drive

Intersection							
Int Delay, s/veh	0.5						
		MDD	NET	NDD	051	ODT	
Movement	WBL	WBR	NBT	NBR	SBL	SBT	
Lane Configurations	ች	7	Λħ	10	ች	^	
Traffic Vol, veh/h	14	24	1010	42	24	1000	
Future Vol, veh/h	14	24	1010	42	24	1000	
Conflicting Peds, #/hr		0	0	0	0	0	
Sign Control	Stop	Stop	Free	Free	Free	Free	
RT Channelized	-	None	-	None	-	None	
Storage Length	0	0	-	-	160	-	
Veh in Median Storag		-	0	-	-	0	
Grade, %	0	-	0	-	-	0	
Peak Hour Factor	92	92	92	92	92	92	
Heavy Vehicles, %	0	0	5	0	0	6	
Mvmt Flow	15	26	1098	46	26	1087	
N A - ' /N A'	N.C		1.1.1		4 - ' - 0		
	Minor1		//ajor1		Major2		
Conflicting Flow All	1717	572	0	0	1144	0	
Stage 1	1121	-	-	-	-	-	
Stage 2	596	-	-	-	-	-	
Critical Hdwy	6.8	6.9	-	-	4.1	-	
Critical Hdwy Stg 1	5.8	-	-	-	-	-	
Critical Hdwy Stg 2	5.8	-	-	-	-	-	
Follow-up Hdwy	3.5	3.3	-	-	2.2	-	
Pot Cap-1 Maneuver	83	468	-	-	618	-	
Stage 1	277	-	-	-	-	-	
Stage 2	519	-	-	-	-	-	
Platoon blocked, %			-	-		-	
Mov Cap-1 Maneuver	80	468	_	-	618	-	
Mov Cap-2 Maneuver		-	_	_	-	_	
Stage 1	265	_	_	_	_	_	
Stage 2	519	_	_	_	_	_	
Olago Z	010						
Approach	WB		NB		SB		
HCM Control Delay, s	17.7		0		0.3		
HCM LOS	С						
Minor Long/Major My	mt	NDT	NIDDV	VBLn1V	VDI 52	SBL	
Minor Lane/Major Mvr	πι	NBT					
Capacity (veh/h)		-	-	190	468	618	
HCM Lane V/C Ratio		-	-			0.042	
HCM Control Delay (s	s)	-	-		13.1	11.1	
HCM Lane LOS		-	-	D	В	В	
HCM 95th %tile Q(veh	1)	-	-	0.3	0.2	0.1	

6: Harlem Avenue & DuPage Medical Group

Intersection						
Int Delay, s/veh	0.2					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	¥	LDIX	NDL	414	↑ ⊅	ODIN
Traffic Vol, veh/h	1	1	8	1051	1008	6
Future Vol, veh/h	1	1	8	1051	1008	6
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	Stop -	None	-	None	-	None
Storage Length	0	-	_	-	_	NOHE -
Veh in Median Storage		_	_	0	0	_
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	0	0	0	5	6	0
Mvmt Flow	1	1	9	1142	1096	7
Major/Minor N	/linor2	N	Major1	N	Major2	
Conflicting Flow All	1689		1103	0	-	0
Stage 1	1100	-	-	_	_	-
Stage 2	589	_	_	_	_	_
	6.8	6.9	4.1	_		
Critical Hdwy				-	-	-
Critical Hdwy Stg 1	5.8	-	-	-	-	-
Critical Hdwy Stg 2	5.8	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	2.2	-	-	-
Pot Cap-1 Maneuver	86	483	640	-	-	-
Stage 1	285	-	-	-	-	-
Stage 2	523	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	83	483	640	-	-	-
Mov Cap-2 Maneuver	197	-	-	_	_	-
Stage 1	274	-	_	-	_	_
Stage 2	523	_	_	_	_	_
Glaye Z	525	-	-	<u>-</u>		-
Approach	EB		NB		SB	
HCM Control Delay, s	18		0.3		0	
HCM LOS	С					
Minard and Maria Ad		NDI	NOT	EDL 4	ODT	ODD
Minor Lane/Major Mvm	τ	NBL	NRI	EBLn1	SBT	SBR
Capacity (veh/h)		640	-	280	-	-
HCM Lane V/C Ratio		0.014	-	0.008	-	-
HCM Control Delay (s)		10.7	0.2	18	-	-
HCM Lane LOS		В	Α	С	-	-
HCM 95th %tile Q(veh)		0	-	0	-	-

Capacity Analysis Summary Sheets Existing Weekday Evening Peak Hour Conditions

Lanes, Volumes, Timings 1: Harlem Avenue & 171st Street

1. Hallelli Avellue (X 17 130	Olicci								04/01/2021		
	۶	-	\rightarrow	•	←	•	4	†	<i>></i>	>	ļ	1
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	ች	ħβ		ች	↑ ↑		ች	↑ ↑		ች	↑ ↑	
Traffic Volume (vph)	235	408	221	247	362	57	232	1313	122	143	1187	242
Future Volume (vph)	235	408	221	247	362	57	232	1313	122	143	1187	242
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	160		0	150		0	160		0	190		0
Storage Lanes	1		0	1		0	1		0	1		0
Taper Length (ft)	145			145			125			125		
Lane Util. Factor	1.00	0.95	0.95	1.00	0.95	0.95	1.00	0.95	0.95	1.00	0.95	0.95
Ped Bike Factor												
Frt		0.947			0.980			0.987			0.975	
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1787	3361	0	1787	3538	0	1787	3525	0	1805	3485	0
Flt Permitted	0.273			0.171			0.059			0.063		
Satd. Flow (perm)	514	3361	0	322	3538	0	111	3525	0	120	3485	0
Right Turn on Red			No			No			No			No
Satd. Flow (RTOR)												
Link Speed (mph)		40			35			40			40	
Link Distance (ft)		229			789			567			516	
Travel Time (s)		3.9			15.4			9.7			8.8	
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	1%	1%	3%	1%	0%	0%	1%	1%	2%	0%	1%	1%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%			0%	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	242	649	0	255	432	0	239	1480	0	147	1473	0
Turn Type	pm+pt	NA		pm+pt	NA		pm+pt	NA		pm+pt	NA	
Protected Phases	7	4		3	8		5	2		1	6	
Permitted Phases	4			8	_		2	_		6	_	
Detector Phase	7	4		3	8		5	2		1	6	
Switch Phase												
Minimum Initial (s)	3.0	8.0		3.0	8.0		3.0	15.0		3.0	15.0	
Minimum Split (s)	9.5	24.0		9.5	24.0		9.5	24.0		9.5	24.0	
Total Split (s)	20.0	29.0		20.0	29.0		24.0	73.0		18.0	67.0	
Total Split (%)	14.3%	20.7%		14.3%	20.7%		17.1%	52.1%		12.9%	47.9%	
Yellow Time (s)	3.5	4.0		3.5	4.0		3.5	4.0		3.5	4.0	
All-Red Time (s)	0.0	2.0		0.0	2.0		0.0	2.0		0.0	2.0	
Lost Time Adjust (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Total Lost Time (s)	3.5	6.0		3.5	6.0		3.5	6.0		3.5	6.0	
Lead/Lag	Lead	Lag		Lead	Lag		Lead	Lag		Lead	Lag	
Lead-Lag Optimize?	Yes	Yes		Yes	Yes		Yes	Yes		Yes	Yes	
Recall Mode	None	None		None	None		None	C-Min		None	C-Min	
Act Effct Green (s)	41.6	23.0		42.4	23.4		87.5	69.8		78.0	63.8	
Actuated g/C Ratio	0.30	0.16		0.30	0.17		0.62	0.50		0.56	0.46	

Lanes, Volumes, Timings

1: Harlem Avenue & 171st Street

04/01/2021

	•	-	•	•	←	*	~	†	~	-	ţ	4
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
v/c Ratio	0.81	1.18		0.94	0.73		0.85	0.84		0.71	0.93	
Control Delay	59.2	146.7		81.6	63.6		63.7	36.4		48.5	47.4	
Queue Delay	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Total Delay	59.2	146.7		81.6	63.6		63.7	36.4		48.5	47.4	
LOS	Е	F		F	Е		Е	D		D	D	
Approach Delay		122.9			70.3			40.2			47.5	
Approach LOS		F			Е			D			D	
Queue Length 50th (ft)	172	~371		183	199		159	603		77	672	
Queue Length 95th (ft)	#255	#497		#350	261		#277	735		151	#850	
Internal Link Dist (ft)		149			709			487			436	
Turn Bay Length (ft)	160			150			160			190		
Base Capacity (vph)	304	552		270	591		314	1757		243	1588	
Starvation Cap Reductn	0	0		0	0		0	0		0	0	
Spillback Cap Reductn	0	0		0	0		0	0		0	0	
Storage Cap Reductn	0	0		0	0		0	0		0	0	
Reduced v/c Ratio	0.80	1.18		0.94	0.73		0.76	0.84		0.60	0.93	

Intersection Summary

Area Type: Other

Cycle Length: 140

Actuated Cycle Length: 140

Offset: 0 (0%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green

Natural Cycle: 100

Control Type: Actuated-Coordinated

Maximum v/c Ratio: 1.18

Intersection Signal Delay: 61.8
Intersection Capacity Utilization 102.1%

Intersection LOS: E
ICU Level of Service G

Analysis Period (min) 15

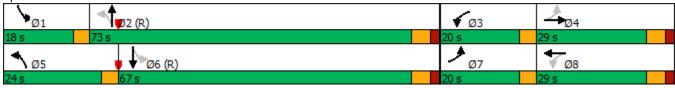
~ Volume exceeds capacity, queue is theoretically infinite.

Queue shown is maximum after two cycles.

95th percentile volume exceeds capacity, queue may be longer.

Queue shown is maximum after two cycles.

Splits and Phases: 1: Harlem Avenue & 171st Street



2: 171st Street & USPS East Access Drive

Intersection						
Int Delay, s/veh	0.6					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations	LDL	41	†	וטייי	₩	ODIN
Traffic Vol, veh/h	30	860	761	75	4	25
Future Vol, veh/h	30	860	761	75	4	25
Conflicting Peds, #/hr	0	000	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized					Stop -	
	-		-			None
Storage Length		-	-	-	0	-
Veh in Median Storage,	,# -	0	0	-	1	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	91	91	91	91	91	91
Heavy Vehicles, %	0	1	1	2	0	0
Mvmt Flow	33	945	836	82	4	27
Major/Minor N	/lajor1	N	Major2	N	Minor2	
Conflicting Flow All	918	0	-	0	1416	459
Stage 1	-	-	_	-	877	-
Stage 2	_	_	_	_	539	_
Critical Hdwy	4.1	_	_	_	6.8	6.9
Critical Hdwy Stg 1	7.1	_		_	5.8	0.5
Critical Hdwy Stg 2		-	_	_	5.8	
Follow-up Hdwy	2.2	_	_	_	3.5	3.3
	752					554
Pot Cap-1 Maneuver		-	-	-	131	
Stage 1	-	-	-	-	372	-
Stage 2	-	-	-	-	555	-
Platoon blocked, %		-	-	-	110	
Mov Cap-1 Maneuver	752	-	-	-	119	554
Mov Cap-2 Maneuver	-	-	-	-	238	-
Stage 1	-	-	-	-	338	-
Stage 2	-	-	-	-	555	-
Approach	EB		WB		SB	
HCM Control Delay, s	0.7		0		13.3	
HCM LOS	0.7		U		13.3 B	
HCWI LOS					D	
Minor Lane/Major Mvmt	t	EBL	EBT	WBT	WBR:	SBLn1
Capacity (veh/h)		752	-	-	-	468
HCM Lane V/C Ratio		0.044	-	-	-	0.068
HCM Control Delay (s)		10	0.4	-	-	13.3
HCM Lane LOS		В	Α	-	-	В
HCM 95th %tile Q(veh)		0.1	-	-	-	0.2

3: First Merchant Bank Access Drive & 171st Street

Intersection						
Int Delay, s/veh	0					
	EBT	EBR	WBL	WBT	NBL	NBR
		EDI	WDL			NDI
Lane Configurations Traffic Vol, veh/h	↑1 > 890	0	0	₹ ↑	\	0
Future Vol, veh/h	890	0	0	786	0	0
	090	0	0	0	0	0
Conflicting Peds, #/hr	Free	Free	Free	Free	Stop	
Sign Control RT Channelized		None			Stop -	Stop
	-		-			None
Storage Length	<u> </u>	-	-	-	0	-
Veh in Median Storage, 7		-	-	0	1	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	98	98	98	98	98	98
Heavy Vehicles, %	0	1	0	1	0	0
Mvmt Flow	908	0	0	802	0	0
Major/Minor Ma	ajor1	N	Major2	N	Minor1	
Conflicting Flow All	0	0	908	0	1309	454
Stage 1	-	-	-	-	908	-
Stage 2	_	_	_	_	401	_
Critical Hdwy			4.1		6.8	6.9
Critical Hdwy Stg 1	-	-	-	-	5.8	-
Critical Hdwy Stg 2	-	-	-	-	5.8	-
Follow-up Hdwy	-	-	2.2	-	3.5	3.3
Pot Cap-1 Maneuver	-	-	758	-	153	559
Stage 1	-	-	-	-	359	-
Stage 2	-	-	-	-	651	-
Platoon blocked, %	-	-		-		
Mov Cap-1 Maneuver	-	-	758	-	153	559
Mov Cap-2 Maneuver	-	-	-	-	273	-
Stage 1	-	-	-	-	359	-
Stage 2	-	-	-	-	651	-
Annragah	EB		WD		ND	
Approach			WB		NB	
HCM Control Delay, s	0		0		0	
HCM LOS					Α	
Minor Lane/Major Mvmt	1	NBLn1	EBT	EBR	WBL	WBT
Capacity (veh/h)		-	_	-	758	-
HCM Lane V/C Ratio		_	_	_	-	_
HCM Control Delay (s)		0	_	_	0	_
HCM Lane LOS		A	-	-	A	-
HCM 95th %tile Q(veh)		-	_		0	_
HOW JOHN JOHN (VOII)					U	

4: Oconto Avenue/USPS West Access Drive & 171st Street

Intersection												
Int Delay, s/veh	1.4											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		414		ř	ħβ			4			4	
Traffic Vol, veh/h	3	826	16	20	762	4	2	0	15	49	3	44
Future Vol, veh/h	3	826	16	20	762	4	2	0	15	49	3	44
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	50	-	-	-	-	_	-	-	-
Veh in Median Storage,	# -	0	-	-	0	-	-	1	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	_	-	0	-
Peak Hour Factor	96	96	96	96	96	96	96	96	96	96	96	96
Heavy Vehicles, %	33	1	0	6	0	0	0	0	0	2	0	0
Mvmt Flow	3	860	17	21	794	4	2	0	16	51	3	46
Major/Minor M	lajor1		1	Major2		N	/linor1		N	/linor2		
Conflicting Flow All	798	0	0	877	0	0	1316	1715	439	1274	1721	399
Stage 1	-	-	-	-	-	-	875	875	-	838	838	-
Stage 2	-	-	-	-	-	-	441	840	-	436	883	-
Critical Hdwy	4.76	-	-	4.22	-	-	7.5	6.5	6.9	7.54	6.5	6.9
Critical Hdwy Stg 1	-	-	-	-	-	-	6.5	5.5	-	6.54	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.5	5.5	-	6.54	5.5	-
Follow-up Hdwy	2.53	-	-	2.26	-	-	3.5	4	3.3	3.52	4	3.3
Pot Cap-1 Maneuver	647	-	-	741	-	-	118	91	571	124	90	606
Stage 1	-	-	-	-	-	-	315	370	-	327	384	-
Stage 2	-	-	-	-	-	-	570	384	-	569	367	-
Platoon blocked, %		-	-		-	-						
Mov Cap-1 Maneuver	647	-	-	741	-	-	105	88	571	117	87	606
Mov Cap-2 Maneuver	-	-	-	-	-	-	220	208	-	232	203	-
Stage 1	-	-	-	-	-	-	312	367	-	324	373	-
Stage 2	-	-	-	-	-	-	508	373	-	548	364	-
, in the second second												
Approach	EB			WB			NB			SB		
HCM Control Delay, s	0			0.3			12.8			21.1		
HCM LOS							В			С		
Minor Lane/Major Mvmt	1	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR S	SBLn1			
Capacity (veh/h)		481	647	-	-	741	-	-	322			
HCM Lane V/C Ratio			0.005	-	-	0.028	-	-	0.311			
HCM Control Delay (s)		12.8	10.6	0	-	10	-	-	21.1			
HCM Lane LOS		В	В	Α	-	Α	-	-	С			
HCM 95th %tile Q(veh)		0.1	0	-	-	0.1	-	-	1.3			

5: Harlem Avenue & Tinley Park Commons Access Drive

Intersection								
Int Delay, s/veh	2.8							
		WDD	NDT	NDD	CDI	CDT		
Movement	WBL	WBR	NBT	NBR	SBL	SBT		
Lane Configurations	ነ	74	↑	00	ነ	^		
Fraffic Vol, veh/h	52	71	1596	92	46	1609		
uture Vol, veh/h	52	71	1596	92	46	1609		
Conflicting Peds, #/hr	0	0	0	0	0	0		
Sign Control	Stop	Stop	Free	Free	Free	Free		
RT Channelized	-	None		None	160			
Storage Length	0 e,# 1	0	-	-	160	0		
/eh in Median Storage	,		0	-				
Grade, %	92	92	92	92	92	92		
Peak Hour Factor								
Heavy Vehicles, %	0	0	1725	100	0	1740		
Mvmt Flow	57	77	1735	100	50	1749		
	Minor1		Major1		Major2			
Conflicting Flow All	2760	918	0	0	1835	0		
Stage 1	1785	-	-	-	-	-		
Stage 2	975	-	-	-	-	-		
ritical Hdwy	6.8	6.9	-	-	4.1	-		
ritical Hdwy Stg 1	5.8	-	-	-	-	-		
ritical Hdwy Stg 2	5.8	-	-	-	-	-		
ollow-up Hdwy	3.5	3.3	-	-	2.2	-		
ot Cap-1 Maneuver	~ 16	278	-	-	337	-		
Stage 1	122	-	-	-	-	-		
Stage 2	331	-	-	-	-	-		
latoon blocked, %			-	-		-		
Nov Cap-1 Maneuver		278	-	-	337	-		
Nov Cap-2 Maneuver		-	-	-	-	-		
Stage 1	104	-	-	-	-	-		
Stage 2	331	-	-	-	-	-		
pproach	WB		NB		SB			
HCM Control Delay, s	72.5		0		0.5			
HCM LOS	F							
Minor Lane/Major Mvn	nt	NBT	NRDV	VBLn1V	VRI n2	SBL	SBT	
Capacity (veh/h)	III	וטוו	MDIZA	74	278	337	-	
ICM Lane V/C Ratio		-	-	0.764			-	
ICM Control Delay (s	١	-		140.3	22.9	17.5		
ICM Control Delay (s)	-	-	140.5 F	22.9 C	17.5 C	-	
ICM 95th %tile Q(veh	1)	-	-	3.6	1.1	0.5	-	
•	IJ	_		3.0	1.1	0.5	•	
lotes								
: Volume exceeds ca	pacity	\$: De	elay exc	eeds 30	00s	+: Com	outation Not Defined	*: All major volume in platoon

6: Harlem Avenue & DuPage Medical Group

Capacity Analysis Summary Sheets
No Build Weekday Morning Peak Hour Conditions

Lanes, Volumes, Timings 1: Harlem Avenue & 171st Street

Lanes, Volumes, Timings

1: Harlem Avenue & 171st Street

04/01/2021

	•	-	•	•	←	•	•	†	~	-	↓	4
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
v/c Ratio	0.69	0.62		0.47	0.62		0.71	0.55		0.25	0.71	
Control Delay	42.0	48.7		34.5	52.9		26.8	22.7		12.6	30.5	
Queue Delay	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Total Delay	42.0	48.7		34.5	52.9		26.8	22.7		12.6	30.5	
LOS	D	D		С	D		С	С		В	С	
Approach Delay		46.1			47.1			23.5			29.2	
Approach LOS		D			D			С			С	
Queue Length 50th (ft)	143	147		79	120		75	272		25	358	
Queue Length 95th (ft)	203	189		123	160		#194	384		52	460	
Internal Link Dist (ft)		149			709			147			436	
Turn Bay Length (ft)	160			150			160			190		
Base Capacity (vph)	352	832		307	704		326	1764		371	1514	
Starvation Cap Reductn	0	0		0	0		0	0		0	0	
Spillback Cap Reductn	0	0		0	0		0	0		0	0	
Storage Cap Reductn	0	0		0	0		0	0		0	0	
Reduced v/c Ratio	0.68	0.47		0.46	0.44		0.71	0.55		0.23	0.71	

Intersection Summary

Area Type: Other

Cycle Length: 120

Actuated Cycle Length: 120

Offset: 0 (0%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green

Natural Cycle: 80

Control Type: Actuated-Coordinated

Maximum v/c Ratio: 0.71

Intersection Signal Delay: 32.6
Intersection Capacity Utilization 76.1%

Intersection LOS: C
ICU Level of Service D

Analysis Period (min) 15

95th percentile volume exceeds capacity, queue may be longer.

Queue shown is maximum after two cycles.

Splits and Phases: 1: Harlem Avenue & 171st Street



2: 7-Eleven RIRO Access Drive/USPS Easterly Access Drive & 171st Street

Intersection												
Int Delay, s/veh	0.8											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		414			∱ }				7		4	
Traffic Vol, veh/h	26	517	34	0	523	78	0	0	50	6	0	7
Future Vol, veh/h	26	517	34	0	523	78	0	0	50	6	0	7
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	0	-	-	-
Veh in Median Storage,	# -	0	-	-	0	-	-	0	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	_	-	0	-
Peak Hour Factor	91	91	91	91	91	91	91	91	91	91	91	91
Heavy Vehicles, %	0	2	0	0	5	1	0	0	0	0	0	0
Mvmt Flow	29	568	37	0	575	86	0	0	55	7	0	8
Major/Minor Major/Minor	ajor1		ı	Major2		ı	Minor1		N	/linor2		
Conflicting Flow All	661	0	0	- viajoiz	_	0	-	_	303	960	1281	331
Stage 1	-	-	-	_	_	-			-	618	618	-
Stage 2	_	_	_	_	_	_	_	_	<u>-</u>	342	663	_
Critical Hdwy	4.1		_	_	_	-	-		6.9	7.5	6.5	6.9
Critical Hdwy Stg 1	4.1	_	_	_	_	_	_	_	0.9	6.5	5.5	0.9
Critical Hdwy Stg 2	_	-	-	_	_	-	-	_	_	6.5	5.5	_
Follow-up Hdwy	2.2	_	_	_	_	_	_	_	3.3	3.5	4	3.3
Pot Cap-1 Maneuver	937	-	-	0	_	_	0	0	699	214	167	671
Stage 1	-	_	_	0	_	_	0	0	-	448	484	- 071
Stage 2	-	-	-	0	-		0	0		652	462	_
Platoon blocked, %		_	_	U	_	_	U	J		002	TUZ	
Mov Cap-1 Maneuver	937	_	_	_	_	_	_	_	699	190	159	671
Mov Cap-2 Maneuver	-	_	_	_	_	<u> </u>	_	_	-	307	283	-
Stage 1	_					_			_	427	484	_
Stage 2	_	_	_	_	_	_	_	_	<u>-</u>	573	440	_
Jugo 2										0,0	170	
Approach	EB			WB			NB			SB		
HCM Control Delay, s	0.6			0			10.6			13.6		
HCM LOS	0.0			U			10.6 B			13.6 B		
I IOW LOS							D			D		
Minor Long/Maior M.		JDL 4	EDI	EDT	EDD	WDT	WPD (DI -4				
Minor Lane/Major Mvmt	Г	VBLn1	EBL	EBT	EBR	WBT	WBR 9					
Capacity (veh/h)		699	937	-	-	-	-	434				
HCM Control Doloy (a)		0.079	0.03	- 0.2	-	-		0.033				
HCM Long LOS		10.6	9	0.2	-	-	-	13.6				
HCM Lane LOS		В	Α	Α	-	-	-	В				
HCM 95th %tile Q(veh)		0.3	0.1	-	-	-	-	0.1				

3: First Merchant Bank Access Drive & 171st Street

Intersection						
Int Delay, s/veh	0.9					
	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations		EDK	VVDL			NDK
	↑ 1→ 576	0	43	41↑	31	1
Traffic Vol, veh/h		0				1
Future Vol, veh/h	576	0	43	487	31	1
Conflicting Peds, #/hr	0	0	0	0	0	0
	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-		-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage,		-	-	0	1	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	91	91	91	91	91	91
Heavy Vehicles, %	2	0	0	5	0	0
Mvmt Flow	633	0	47	535	34	1
Major/Minor Ma	ajor1	٨	//ajor2	ı	Minor1	
Conflicting Flow All	0	0	633	0	995	317
Stage 1	-	-	-	-	633	-
Stage 2		_	_	_	362	_
			4.1		6.8	6.9
Critical Hdwy	-	-	4.1	-		
Critical Hdwy Stg 1	-	-	-	-	5.8	-
Critical Hdwy Stg 2	-	-	-	-	5.8	-
Follow-up Hdwy	-	-	2.2	-	3.5	3.3
Pot Cap-1 Maneuver	-	-	960	-	245	685
Stage 1	-	-	-	-	497	-
Stage 2	-	-	-	-	681	-
Platoon blocked, %	-	-		-		
Mov Cap-1 Maneuver	-	-	960	-	228	685
Mov Cap-2 Maneuver	-	-	-	-	344	-
Stage 1	-	-	-	-	462	-
Stage 2	_	_	-	_	681	_
J J .						
A I.			MD		ND	
Approach	EB		WB		NB	
HCM Control Delay, s	0		1		16.5	
HCM LOS					С	
Minor Lane/Major Mvmt	1	NBLn1	EBT	EBR	WBL	WBT
Capacity (veh/h)		349	-			_
HCM Lane V/C Ratio		0.101	_		0.049	_
HCM Control Delay (s)		16.5	_	_	8.9	0.3
		Γ	_	_	Δ	Δ
HCM Lane LOS HCM 95th %tile Q(veh)		C 0.3	-	-	0.2	A -

4: Oconto Avenue/USPS Westerly Access Drive & 171st Street

Intersection												
Int Delay, s/veh	0.7											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		4îb		*	ħβ			4			4	
Traffic Vol, veh/h	0	545	1	6	508	4	3	0	6	25	2	16
Future Vol, veh/h	0	545	1	6	508	4	3	0	6	25	2	16
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	50	-	-	-	-	-	-	-	-
Veh in Median Storage,	# -	0	-	-	0	-	-	1	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	88	88	88	88	88	88	88	88	88	88	88	88
Heavy Vehicles, %	0	2	0	0	5	0	0	0	17	4	0	0
Mvmt Flow	0	619	1	7	577	5	3	0	7	28	2	18
Major/Minor N	/lajor1			Major2		ľ	Minor1		ľ	/linor2		
Conflicting Flow All	582	0	0	620	0	0	924	1216	310	904	1214	291
Stage 1	-	-	-	-	-	-	620	620	-	594	594	-
Stage 2	-	-	-	-	-	-	304	596	-	310	620	-
Critical Hdwy	4.1	-	-	4.1	-	-	7.5	6.5	7.24	7.58	6.5	6.9
Critical Hdwy Stg 1	-	-	-	-	-	-	6.5	5.5	-	6.58	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.5	5.5	-	6.58	5.5	-
Follow-up Hdwy	2.2	-	-	2.2	-	-	3.5	4	3.47	3.54	4	3.3
Pot Cap-1 Maneuver	1002	-	-	970	-	-	227	183	643	229	183	712
Stage 1	_	-	-	-	-	-	447	483	-	453	496	-
Stage 2	-	-	-	-	-	-	686	495	-	669	483	-
Platoon blocked, %		-	-		-	-						
Mov Cap-1 Maneuver	1002	-	-	970	-	-	219	182	643	225	182	712
Mov Cap-2 Maneuver	-	-	-	-	-	-	337	306	-	341	304	-
Stage 1	-	-	-	-	-	-	447	483	-	453	493	-
Stage 2	-	-	-	-	-	-	661	492	-	662	483	-
-												
Approach	EB			WB			NB			SB		
HCM Control Delay, s	0			0.1			12.4			14.7		
HCM LOS							В			В		
Minor Lane/Major Mvm	<u> </u>	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR:	SBL _{n1}			
Capacity (veh/h)		494	1002	-	-	970	-	_	420			
HCM Lane V/C Ratio		0.021	-	-	-	0.007	-	-	0.116			
HCM Control Delay (s)		12.4	0	-	-	8.7	-	-	14.7			
HCM Lane LOS		В	Α	-	-	Α	-	-	В			
HCM 95th %tile Q(veh)		0.1	0	-	-	0	-	-	0.4			

5: Harlem Avenue & Tinley Park Commons Access Drive

Intersection							
Int Delay, s/veh	0.5						
Movement	WBL	WBR	NBT	NBR	SBL	SBT	ļ
Lane Configurations	VVDL	VVDIX	†	NON	JDL Š	↑ ↑	
Traffic Vol, veh/h	14	24	T → 1075	42	1 24	TT 1065	
	14	24	1075	42	24		
Future Vol, veh/h						1065	
Conflicting Peds, #/hr	0	0	0	0	0	0	
Sign Control	Stop	Stop	Free	Free	Free	Free	
RT Channelized	-	None	-	None	-	None	
Storage Length	0	0	-	-	160	-	
Veh in Median Storage	e, # 1	-	0	-	-	0	
Grade, %	0	-	0	-	-	0	
Peak Hour Factor	92	92	92	92	92	92	
Heavy Vehicles, %	0	0	5	0	0	6	
Mvmt Flow	15	26	1168	46	26	1158	
	10		1.00	.0		1100	
Major/Minor	Minor1	N	Major1	1	Major2		
Conflicting Flow All	1822	607	0	0	1214	0	
Stage 1	1191	-	_	-	-	-	
Stage 2	631	_	_	_	_	_	
Critical Hdwy	6.8	6.9	_	_	4.1	_	
Critical Hdwy Stg 1	5.8	-	_	_	-	_	
Critical Hdwy Stg 2	5.8	_	_	_	_	_	
Follow-up Hdwy	3.5	3.3		_	2.2	_	
			-				
Pot Cap-1 Maneuver	70	444	-	-	582	-	
Stage 1	255	-	-	-	-	-	
Stage 2	498	-	-	-	-	-	
Platoon blocked, %			-	-		-	
Mov Cap-1 Maneuver		444	-	-	582	-	
Mov Cap-2 Maneuver	174	-	-	-	-	-	
Stage 1	244	-	-	-	-	-	
Stage 2	498	-	-	-	-	-	
Approach	WB		NB		SB		
HCM Control Delay, s	18.8		0		0.3		
HCM LOS	С						
NA: 1 (NA 1	. 1	NET	NIDE	MDL 41	VDL C	001	
Minor Lane/Major Mvr	nt	NBT	NRKA	VBLn1V		SBL	
Capacity (veh/h)		-	-	174	444	582	
HCM Lane V/C Ratio			-	0.087			
HCM Control Delay (s)	-	-	27.7	13.6	11.5	
HCM Lane LOS		-	-	D	В	В	
HCM 95th %tile Q(veh	1)	-	-	0.3	0.2	0.1	
	,						

6: Harlem Avenue & DuPage Medical Group

Intersection						
Int Delay, s/veh	0.2					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
		EDK	INDL			אמט
Lane Configurations	M	4	٥	4140	↑ }	^
Traffic Vol, veh/h	1	1	8	1116	1073	6
Future Vol, veh/h	1	1	8	1116	1073	6
Conflicting Peds, #/hr	0	0	_ 0	_ 0	_ 0	_ 0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage		-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	0	0	0	5	6	0
Mvmt Flow	1	1	9	1213	1166	7
		_		_		
	Minor2		Major1		Major2	
Conflicting Flow All	1795	587	1173	0	-	0
Stage 1	1170	-	-	-	-	-
Stage 2	625	-	-	-	-	-
Critical Hdwy	6.8	6.9	4.1	-	-	-
Critical Hdwy Stg 1	5.8	-	-	-	-	-
Critical Hdwy Stg 2	5.8	-	_	_	-	-
Follow-up Hdwy	3.5	3.3	2.2	_	_	_
Pot Cap-1 Maneuver	73	458	603	_	_	_
Stage 1	261	-	-	_	_	_
Stage 2	501	_	_		_	_
Platoon blocked, %	301	-	_	-		_
	70	450	C02	-	-	
Mov Cap-1 Maneuver		458	603	-	-	-
Mov Cap-2 Maneuver	179	-	-	-	-	-
Stage 1	249	-	-	-	-	-
Stage 2	501	-	-		-	-
Approach	EB		NB		SB	
HCM Control Delay, s			0.4		0	
HCM LOS	19.1 C		0.4		U	
I IOWI LOS	U					
Minor Lane/Major Mvn	nt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)		603	_	257	_	_
HCM Lane V/C Ratio		0.014	_	0.008	_	_
HCM Control Delay (s)	11.1	0.3	19.1	_	_
HCM Lane LOS	1	В	Α	C	_	_
HCM 95th %tile Q(veh	.)	0	-	0	-	<u>-</u>
HOW SOUL WILLE CA (VEL)	1)	U	-	U	-	-

7: Harlem Avenue & 7-Eleven RIRO Access Drive

Intersection Int Delay, s/veh Movement Lane Configurations Traffic Vol, veh/h Future Vol, veh/h Conflicting Peds, #/hr Sign Control RT Channelized	0.3 EBL	EBR	NBL	NBT	SBT	SBR
Movement Lane Configurations Traffic Vol, veh/h Future Vol, veh/h Conflicting Peds, #/hr Sign Control	EBL 0	7	NBL			SBR
Lane Configurations Traffic Vol, veh/h Future Vol, veh/h Conflicting Peds, #/hr Sign Control	0	7	INBL			SRK
Traffic Vol, veh/h Future Vol, veh/h Conflicting Peds, #/hr Sign Control						
Future Vol, veh/h Conflicting Peds, #/hr Sign Control			^	^	†	- 0
Conflicting Peds, #/hr Sign Control		56	0	1099	1033	59
Sign Control	0	56	0	1099	1033	59
	0	0	_ 0	_ 0	_ 0	_ 0
RT Channelized	Stop		Free	Free	Free	Free
	-		-	None	-	None
Storage Length	-	0	-	-	-	-
Veh in Median Storage	-	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	0	0	0	5	6	0
Mvmt Flow	0	59	0	1157	1087	62
Major/Minor	Minor2	ľ	Major1	N	Major2	
Conflicting Flow All	-	575	- viajoi i	0	-	0
Stage 1	_	-	_	-	_	-
Stage 2	_	_	_	_	_	_
Critical Hdwy	_	6.9	_	_	_	_
Critical Hdwy Stg 1	_	0.5	_	_	_	_
Critical Hdwy Stg 1	_	-	_	_	_	-
Follow-up Hdwy	<u> </u>	3.3	_	_	_	_
Pot Cap-1 Maneuver	0	466	0	-	-	-
	0	400	0	_		
Stage 1					-	-
Stage 2	0	-	0	-	-	-
Platoon blocked, %		400			-	-
Mov Cap-1 Maneuver	-	466	-	-	-	-
Mov Cap-2 Maneuver	-	-	-	-	-	-
Stage 1	-	-	-	-	-	-
Stage 2		-	-	-	-	-
Approach	EB		NB		SB	
HCM Control Delay, s	13.8		0		0	
HCM LOS	В					
		NET		007	000	
	it		EBLn1	SBT	SBR	
Minor Lane/Major Mvm		-		-	-	
Capacity (veh/h)						
Capacity (veh/h) HCM Lane V/C Ratio			0.126	-	-	
Capacity (veh/h) HCM Lane V/C Ratio HCM Control Delay (s)		-	13.8	-	-	
Capacity (veh/h) HCM Lane V/C Ratio		- - -				

Capacity Analysis Summary Sheets
No Build Weekday Evening Peak Hour Conditions

Lanes, Volumes, Timings 1: Harlem Avenue & 171st Street

Lane Group EBL EBT EBR WBL WBT WBR NBL NBT NBR SBL SBT SBR
Lane Configurations 1 2 2 2 3 382 60 256 1377 128 150 1256 258 1 1 1 2 2 2 2 3 382 60 256 1377 128 150 1256 258 1 1 2 1 2 1 2 1 2 1 2 1 2 1 2 1 2 1 2 1
Lane Configurations 1 15 258 258 Future Volume (vph) 262 434 232 263 382 60 256 1377 128 150 1256 258 Ideal Flow (vphpl) 1900 190
Traffic Volume (vph) 262 434 232 263 382 60 256 1377 128 150 1256 258 Future Volume (vph) 262 434 232 263 382 60 256 1377 128 150 1256 258 Ideal Flow (vphpl) 1900
Future Volume (vph) 262 434 232 263 382 60 256 1377 128 150 1256 258 Ideal Flow (vphpl) 1900 </td
Lane Width (ft) 12
Lane Width (ft) 12
Storage Length (ft) 160 0 150 0 160 0 190 0 Storage Lanes 1 0 1 0 1 0 1 0 1 0 Taper Length (ft) 145 145 125 <td< td=""></td<>
Storage Length (ft) 160 0 150 0 160 0 190 0 Storage Lanes 1 0 1 0 1 0 1 0 Taper Length (ft) 145 145 125 125 125 125 Lane Util. Factor 1.00 0.95 0.95 1.00 0.95 0.95 1.00 0.95 0.95 0.95 Ped Bike Factor Frt 0.948 0.980 0.987 0.974 0.974 Flt Protected 0.950 0.950 0.950 0.950 0.950 Satd. Flow (prot) 1787 3365 0 1787 3538 0 1787 3525 0 1805 3481 0
Taper Length (ft) 145 145 125 125 Lane Util. Factor 1.00 0.95 0.95 1.00 0.95 0.95 1.00 0.95 0.95 0.95 0.95 0.95 0.95 0.95 0.95 0.95 0.974 0.974 0.974 0.950 0
Lane Util. Factor 1.00 0.95 0.95 1.00 0.95 0.95 1.00 0.95 0.95 0.95 0.95 Ped Bike Factor Frt 0.948 0.980 0.987 0.974 Fit Protected 0.950 0.950 0.950 0.950 Satd. Flow (prot) 1787 3365 0 1787 3538 0 1787 3525 0 1805 3481 0
Ped Bike Factor Frt 0.948 0.980 0.987 0.974 Flt Protected 0.950 0.950 0.950 0.950 Satd. Flow (prot) 1787 3365 0 1787 3538 0 1787 3525 0 1805 3481 0
Frt 0.948 0.980 0.987 0.974 Flt Protected 0.950 0.950 0.950 0.950 Satd. Flow (prot) 1787 3365 0 1787 3538 0 1787 3525 0 1805 3481 0
Flt Protected 0.950 0.950 0.950 0.950 Satd. Flow (prot) 1787 3365 0 1787 3538 0 1787 3525 0 1805 3481 0
Satd. Flow (prot) 1787 3365 0 1787 3538 0 1787 3525 0 1805 3481 0
$\mathbf{W} = \mathbf{I}$
Flt Permitted 0.234 0.174 0.060 0.064
Satd. Flow (perm) 440 3365 0 327 3538 0 113 3525 0 122 3481 0
Right Turn on Red No No No No
Satd. Flow (RTOR)
Link Speed (mph) 40 35 40 40
Link Distance (ft) 229 789 227 516
Travel Time (s) 3.9 15.4 3.9 8.8
Confl. Peds. (#/hr)
Confl. Bikes (#/hr)
Peak Hour Factor 0.97 0.97 0.97 0.97 0.97 0.97 0.97 0.97
Growth Factor 100% 100% 100% 100% 100% 100% 100% 100
Heavy Vehicles (%) 1% 1% 3% 1% 0% 0% 1% 1% 2% 0% 1% 1%
Bus Blockages (#/hr) 0 0 0 0 0 0 0 0 0 0 0
Parking (#/hr)
Mid-Block Traffic (%) 0% 0% 0%
Shared Lane Traffic (%)
Lane Group Flow (vph) 270 686 0 271 456 0 264 1552 0 155 1561 0
Turn Type pm+pt NA pm+pt NA pm+pt NA pm+pt NA
Protected Phases 7 4 3 8 5 2 1 6
Permitted Phases 4 8 2 6
Detector Phase 7 4 3 8 5 2 1 6
Switch Phase
Minimum Initial (s) 3.0 8.0 3.0 8.0 3.0 15.0 3.0 15.0
Minimum Split (s) 9.5 24.0 9.5 24.0 9.5 24.0 9.5 24.0
Total Split (s) 20.0 29.0 20.0 29.0 24.0 73.0 18.0 67.0
Total Split (%) 14.3% 20.7% 14.3% 20.7% 17.1% 52.1% 12.9% 47.9%
Yellow Time (s) 3.5 4.0 3.5 4.0 3.5 4.0
All-Red Time (s) 0.0 2.0 0.0 2.0 0.0 2.0 0.0 2.0
Lost Time Adjust (s) 0.0 0.0 0.0 0.0 0.0 0.0 0.0
Total Lost Time (s) 3.5 6.0 3.5 6.0 3.5 6.0 3.5
Lead/Lag Lead Lag Lead Lag Lead Lag
Lead-Lag Optimize? Yes Yes Yes Yes Yes Yes Yes
Recall Mode None None None None C-Min None C-Min
Act Effct Green (s) 42.0 23.0 42.0 23.0 87.5 69.5 77.1 62.7
Actuated g/C Ratio 0.30 0.16 0.30 0.16 0.62 0.50 0.55 0.45

Lanes, Volumes, Timings

1: Harlem Avenue & 171st Street

04/01/2021

	۶	-	•	•	←	•	•	†	/	/	ļ	4
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
v/c Ratio	0.93	1.24		1.00	0.78		0.89	0.89		0.73	1.00	
Control Delay	77.6	171.2		95.6	66.7		70.4	39.6		51.6	61.9	
Queue Delay	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Total Delay	77.6	171.2		95.6	66.7		70.4	39.6		51.6	61.9	
LOS	Е	F		F	Е		Е	D		D	Е	
Approach Delay		144.7			77.4			44.1			60.9	
Approach LOS		F			Е			D			Е	
Queue Length 50th (ft)	196	~407		~197	212		183	662		84	~798	
Queue Length 95th (ft)	#339	#534		#383	276		#331	#803		160	#938	
Internal Link Dist (ft)		149			709			147			436	
Turn Bay Length (ft)	160			150			160			190		
Base Capacity (vph)	290	552		270	581		315	1750		243	1558	
Starvation Cap Reductn	0	0		0	0		0	0		0	0	
Spillback Cap Reductn	0	0		0	0		0	0		0	0	
Storage Cap Reductn	0	0		0	0		0	0		0	0	
Reduced v/c Ratio	0.93	1.24		1.00	0.78		0.84	0.89		0.64	1.00	

Intersection Summary

Area Type: Other

Cycle Length: 140

Actuated Cycle Length: 140

Offset: 0 (0%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green

Natural Cycle: 110

Control Type: Actuated-Coordinated

Maximum v/c Ratio: 1.24 Intersection Signal Delay: 72.7 Intersection Capacity Utilization 107.8%

Intersection LOS: E ICU Level of Service G

Analysis Period (min) 15

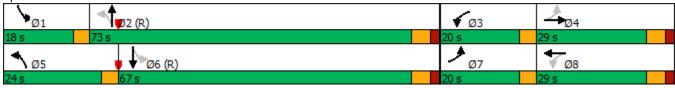
~ Volume exceeds capacity, queue is theoretically infinite.

Queue shown is maximum after two cycles.

95th percentile volume exceeds capacity, queue may be longer.

Queue shown is maximum after two cycles.

Splits and Phases: 1: Harlem Avenue & 171st Street



2: 7-Eleven RIRO Access Drive/USPS Easterly Access Drive & 171st Street

Intersection												
Int Delay, s/veh	0.9											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		414			∱ }				1		4	
Traffic Vol, veh/h	30	883	28	0	821	75	0	0	41	4	0	25
Future Vol, veh/h	30	883	28	0	821	75	0	0	41	4	0	25
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
•	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	0	-	-	-
Veh in Median Storage,	# -	0	-	-	0	-	_	0	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	91	91	91	91	91	91	91	91	91	91	91	91
Heavy Vehicles, %	0	1	0	0	1	2	0	0	0	0	0	0
Mvmt Flow	33	970	31	0	902	82	0	0	45	4	0	27
Major/Minor M	lajor1		ı	Major2		ı	Minor1		N	Minor2		
Conflicting Flow All	984	0	0	-	_	0	-	_	501	1494	2010	492
Stage 1	-	-	-	_	_	-	_	_	-	943	943	
Stage 2	<u>-</u>	<u>-</u>	_	_	_	_	_	_	<u>-</u>	551	1067	_
Critical Hdwy	4.1	_	_	_	_	_	_	_	6.9	7.5	6.5	6.9
Critical Hdwy Stg 1	-	_	_	_	_	_	_	_	-	6.5	5.5	-
Critical Hdwy Stg 2	-	_	_	-	_	_	_	-	-	6.5	5.5	-
Follow-up Hdwy	2.2	_	_	_	_	_	_	_	3.3	3.5	4	3.3
Pot Cap-1 Maneuver	710	_	_	0	_	_	0	0	521	87	60	528
Stage 1	-	_	-	0	-	-	0	0	-	286	344	-
Stage 2	-	-	-	0	-	-	0	0	-	491	301	-
Platoon blocked, %		_	_		_	_						
Mov Cap-1 Maneuver	710	-	-	-	-	-	-	-	521	73	54	528
Mov Cap-2 Maneuver	-	_	-	-	-	-	-	-	-	174	162	-
Stage 1	-	-	-	-	-	-	_	-	-	256	344	-
Stage 2	-	-	-	-	-	-	-	-	-	401	269	-
Approach	EB			WB			NB			SB		
HCM Control Delay, s	0.8			0			12.6			14.5		
HCM LOS	0.0						В			В		
Minor Lane/Major Mvmt	ı	NBLn1	EBL	EBT	EBR	WBT	WBR S	SBI n1				
Capacity (veh/h)	<u> </u>	521	710		-	-	-	412				
HCM Lane V/C Ratio		0.086		-	_	_		0.077				
HCM Control Delay (s)		12.6	10.3	0.5	-		_	14.5				
HCM Lane LOS		12.0 B	10.3 B	0.5 A	-	_	_	14.3 B				
HCM 95th %tile Q(veh)		0.3	0.1	-		_	_	0.2				
HOW JOHN JOHN Q(VOII)		0.0	V. 1					0.2				

3: First Merchant Bank Access Drive & 171st Street

Intersection						
Int Delay, s/veh	0.8					
		EDD	\\/DI	WDT	NDI	NDD
	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations	†	0	20	414	\	^
Traffic Vol, veh/h	941	0	38	808	27	0
Future Vol, veh/h	941	0	38	808	27	0
Conflicting Peds, #/hr	0	_ 0	0	_ 0	0	0
•	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-		-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #		-	-	0	1	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	98	98	98	98	98	98
Heavy Vehicles, %	0	1	0	1	0	0
Mvmt Flow	960	0	39	824	28	0
Major/Minor Ma	ajor1	N	/lajor2	N	Minor1	
Conflicting Flow All	0	0	960	0	1450	480
Stage 1		U	900	-	960	
	-	-	-		490	-
Stage 2	-	_		-		
Critical Hdwy	-	-	4.1	-	6.8	6.9
Critical Hdwy Stg 1	-	-	-	-	5.8	-
Critical Hdwy Stg 2	-	-	-	-	5.8	-
Follow-up Hdwy	-	-	2.2	-	3.5	3.3
Pot Cap-1 Maneuver	-	_	725	-	124	537
Stage 1	-	-	-	-	337	-
Stage 2	-	-	-	-	587	-
Platoon blocked, %	-	-		-		
Mov Cap-1 Maneuver	-	-	725	-	112	537
Mov Cap-2 Maneuver	-	-	-	-	224	-
Stage 1	-	-	-	-	304	-
Stage 2	-	-	-	-	587	-
Approach	EB		WB		NB	
	0		0.9		23.3	
HCM LOS	U		0.9			
HCM LOS					С	
Minor Lane/Major Mvmt	1	NBLn1	EBT	EBR	WBL	WBT
Capacity (veh/h)		224	-	-		-
HCM Lane V/C Ratio		0.123	_		0.053	-
HCM Control Delay (s)		23.3	_	_		0.5
HCM Lane LOS		C	_	_	В	A
HCM 95th %tile Q(veh)		0.4	_	_	0.2	-
HOW JOHN JUNIO Q(VOII)		0.7			0.2	

4: Oconto Avenue/USPS Westerly Access Drive & 171st Street

Intersection												
Int Delay, s/veh	1.4											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		€Î}		*	ħβ			4			4	
Traffic Vol, veh/h	3	877	16	20	811	4	2	0	15	49	3	44
Future Vol, veh/h	3	877	16	20	811	4	2	0	15	49	3	44
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	_	None	-	-	None	-	-	None
Storage Length	_	_	-	50	_	-	_	_	-	_	_	-
Veh in Median Storage,		0	_	-	0	_	_	1	_	_	1	-
Grade, %	-	0	_	_	0	_	_	0	_	_	0	_
Peak Hour Factor	96	96	96	96	96	96	96	96	96	96	96	96
Heavy Vehicles, %	33	1	0	6	0	0	0	0	0	2	0	0
Mvmt Flow	3	914	17	21	845	4	2	0	16	51	3	46
		J 1 7			0.10		_			01		
Major/Minor Major/Minor	ajor1		N	Major2			Minor1		N	Minor2		
	_	^			0			1000			1006	425
Conflicting Flow All	849	0	0	931	0	0	1395	1820	466	1352	1826	
Stage 1	-	-	-	-	-	-	929	929	-	889	889	-
Stage 2	4.70	-	-	4.00	-	-	466	891	-	463	937	-
Critical Hdwy	4.76	-	-	4.22	-	-	7.5	6.5	6.9	7.54	6.5	6.9
Critical Hdwy Stg 1	-	-	-	-	-	-	6.5	5.5	-	6.54	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.5	5.5	-	6.54	5.5	-
Follow-up Hdwy	2.53	-	-	2.26	-	-	3.5	4	3.3	3.52	4	3.3
Pot Cap-1 Maneuver	615	-	-	706	-	-	103	78	549	109	78	583
Stage 1	-	-	-	-	-	-	292	349	-	304	364	-
Stage 2	-	-	-	-	-	-	551	363	-	548	346	-
Platoon blocked, %		-	-		-	-						
Mov Cap-1 Maneuver	615	-	-	706	-	-	91	75	549	103	75	583
Mov Cap-2 Maneuver	-	-	-	-	-	-	203	193	-	215	188	-
Stage 1	-	-	-	-	-	-	289	346	-	301	353	-
Stage 2	-	-	-	-	-	-	488	352	-	527	343	-
Approach	EB			WB			NB			SB		
HCM Control Delay, s	0.1			0.2			13.2			22.8		
HCM LOS	V. 1			J.L			В			C		
Minor Lane/Major Mvmt		NBLn1	EBL	EBT	EBR	WBL	WBT	WBR S	SBI n1			
Capacity (veh/h)		457	615		בטול	706	1101	1101((301			
HCM Lane V/C Ratio			0.005	-	-	0.03	-	-	0.332			
				0.1	-		-	-				
HCM Long LOS		13.2	10.9	0.1	-	10.3	-	-	22.8			
HCM Lane LOS		В	В	Α	-	В	-	-	C			
HCM 95th %tile Q(veh)		0.1	0	-	-	0.1	-	-	1.4			

5: Harlem Avenue & Tinley Park Commons Access Drive

Selay, s/veh 3.3 Sement WBL WBR NBT NBR SBL SBT WBL SBL SBT SBL	Intersection								
### Beneficial Configurations Fig. Fig.	Int Delay, s/veh	3.3							
© Configurations □ Colingurations □ Co	Movement	WRI	\M/RD	NRT	NRD	CRI	CRT		
file Vol, vehr/h file Vehr/h fil					NON				
re Vol, veh/h 52 71 1690 92 46 1703 flicting Peds, #/hr 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0					02		TT		
flicting Peds, #/hr 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	•								
Control Stop Stop Free									
Channelized									
age Length 0 0 0 - 160 - 160 - 164 -									
in Median Storage, # 1									
See, % 0 - 0 0 0									
K Hour Factor 92 92 92 92 92 92 92 9		•							
vy Vehicles, % 0 0 1 0 0 1 Int Flow 57 77 1837 100 50 1851 br/Minor Minor1 Major1 Major2 flicting Flow All 2913 969 0 0 1937 0 Stage 1 1887	Grade, %								
Air Flow 57 77 1837 100 50 1851 Or/Minor Minor1 Major1 Major2 Hicting Flow All 2913 969 0 0 1937 0 Stage 1 1887 - - - - - Stage 2 1026 - - - - - call Hdwy 6.8 6.9 - 4.1 - - call Hdwy Stg 1 5.8 - - - - - - call Hdwy Stg 2 5.8 -									
br/Minor Minor1 Major1 Major2 flicting Flow All 2913 969 0 0 1937 0 Stage 1 1887 -									
Stage 1 1887	Mvmt Flow	5/	11	1837	100	50	1851		
Stage 1 1887									
Stage 1 1887	Major/Minor I	Minor1	N	Major1	N	Major2			
Stage 1	Conflicting Flow All	2913					0		
Stage 2					_				
cal Hdwy Stg 1			_	_	_	_	_		
cal Hdwy Stg 1 5.8	Critical Hdwy		6.9	-	_	4.1	_		
cal Hdwy Stg 2 5.8	Critical Hdwy Stg 1			_	_		_		
Stage 1	Critical Hdwy Stg 2		_	_	_	_	_		
Cap-1 Maneuver ~ 13 257 - 307 - Stage 1 107 - - - - Stage 2 311 - - - - con blocked, % - - - - Cap-1 Maneuver 65 - - - Cap-2 Maneuver 65 - - - Stage 1 90 - - - Stage 2 311 - - - M Control Delay, s 90.9 0 0.5 M LOS F SBL SBT	Follow-up Hdwy		3.3	_	_	22	_		
Stage 1 107 -				_	_		_		
Stage 2 311 -	•			_	_	-	_		
Cap-1 Maneuver ~ 11 257 - 307 - Cap-2 Maneuver 65 Stage 1 90 Stage 2 311 Toach WB NB SB M Control Delay, s 90.9 0 0.5 M LOS F To Lane/Major Mvmt NBT NBRWBLn1WBLn2 SBL SBT acity (veh/h) - 65 257 307 - M Lane V/C Ratio - 0.87 0.3 0.163 - M Control Delay (s) - 181.1 24.9 19 - M Lane LOS - F C C - M 95th %tile Q(veh) - 4.1 1.2 0.6 -				_	_	_	_		
Cap-1 Maneuver ~ 11 257 - 307 - Cap-2 Maneuver 65 Stage 1 90 Stage 2 311 Toach WB NB SB M Control Delay, s 90.9 0 0.5 M LOS F Or Lane/Major Mvmt NBT NBRWBLn1WBLn2 SBL SBT acity (veh/h) - 65 257 307 - M Lane V/C Ratio - 0.87 0.3 0.163 - M Control Delay (s) - 181.1 24.9 19 - M Lane LOS - F C C - M 95th %tile Q(veh) - 4.1 1.2 0.6 -	Platoon blocked, %	011		_	_		_		
Cap-2 Maneuver 65 -		~ 11	257	_	_	307	_		
Stage 1 90 -<				_	_		_		
Stage 2 311 - - - - - - - - -									
roach WB NB SB M Control Delay, s 90.9 0 0.5 M LOS F Or Lane/Major Mvmt NBT NBRWBLn1WBLn2 SBL SBT acity (veh/h) - 65 257 307 - M Lane V/C Ratio - 0.87 0.3 0.163 - M Control Delay (s) - 181.1 24.9 19 - M Lane LOS - F C C - M 95th %tile Q(veh) - 4.1 1.2 0.6 -	•								
M Control Delay, s 90.9 M LOS F Or Lane/Major Mvmt NBT NBRWBLn1WBLn2 SBL SBT acity (veh/h) - 65 257 307 - M Lane V/C Ratio - 0.87 0.3 0.163 - M Control Delay (s) - 181.1 24.9 19 - M Lane LOS - F C C - M 95th %tile Q(veh) - 4.1 1.2 0.6 -	Olaye Z	311	-	-	_	_	-		
M Control Delay, s 90.9 M LOS F Or Lane/Major Mvmt NBT NBRWBLn1WBLn2 SBL SBT acity (veh/h) - 65 257 307 - M Lane V/C Ratio - 0.87 0.3 0.163 - M Control Delay (s) - 181.1 24.9 19 - M Lane LOS - F C C - M 95th %tile Q(veh) - 4.1 1.2 0.6 -									
NBT NBRWBLn1WBLn2 SBL SBT	Approach			NB					
M LOS F or Lane/Major Mvmt NBT NBRWBLn1WBLn2 SBL SBT acity (veh/h) - 65 257 307 - M Lane V/C Ratio - 0.87 0.3 0.163 - M Control Delay (s) - 181.1 24.9 19 - M Lane LOS - F C C - M 95th %tile Q(veh) - 4.1 1.2 0.6 -	HCM Control Delay, s	90.9		0		0.5			
acity (veh/h) 65 257 307 - M Lane V/C Ratio - 0.87 0.3 0.163 - M Control Delay (s) - 181.1 24.9 19 - M Lane LOS - F C C - M 95th %tile Q(veh) - 4.1 1.2 0.6 -	HCM LOS	F							
acity (veh/h) 65 257 307 - M Lane V/C Ratio 0.87 0.3 0.163 - M Control Delay (s) - 181.1 24.9 19 - M Lane LOS - F C C - M 95th %tile Q(veh) - 4.1 1.2 0.6 -									
acity (veh/h) 65 257 307 - M Lane V/C Ratio 0.87 0.3 0.163 - M Control Delay (s) - 181.1 24.9 19 - M Lane LOS - F C C - M 95th %tile Q(veh) - 4.1 1.2 0.6 -	Minor Lane/Major Mum	nt	NPT	NPDV	VRI n 1\A	/RL n2	QDI	CRT	
M Lane V/C Ratio - - 0.87 0.3 0.163 - M Control Delay (s) - - 181.1 24.9 19 - M Lane LOS - - F C C - M 95th %tile Q(veh) - - 4.1 1.2 0.6 -		IC	INDI	INDEA					
M Control Delay (s) - - 181.1 24.9 19 - M Lane LOS - - F C C - M 95th %tile Q(veh) - - 4.1 1.2 0.6 -			-	-					
M Lane LOS F C C - M 95th %tile Q(veh) 4.1 1.2 0.6 -									
If 95th %tile Q(veh) 4.1 1.2 0.6 4.1 1.2 0.6									
es established to the second of the second o	HCM 95th %tile Q(veh)	-	-	4.1	1.2	0.6	-	
	Notes								
olume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon		nacity	\$· De	elav exc	eeds 30	00s	+. Com	nutation Not Defined	*· All major volume in platoon
The same of the sa			ψ. Β	J	. 3040 01		. 03111	- Indian Hot Bonnou	

6: Harlem Avenue & DuPage Medical Group

Intersection						
Int Delay, s/veh	0					
		ED.5	NE	NOT	057	000
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	W			41	∱ ⊅	
Traffic Vol, veh/h	0	3	0	1782	1753	2
Future Vol, veh/h	0	3	0	1782	1753	2
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage	e, # 1	-	-	0	0	-
Grade, %	0	_	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	0	0	0	1	1	0
Mymt Flow	0	3	0	1937	1905	2
WWITH FIOW	U	J	U	1931	1905	
Major/Minor	Minor2	N	Major1	N	Major2	
Conflicting Flow All	2875	954	1907	0		0
Stage 1	1906	-	-	_	_	_
Stage 2	969	<u>-</u>	_	_	_	_
Critical Hdwy	6.8	6.9	4.1	-	_	_
	5.8	0.9	4.1	_	_	
Critical Hdwy Stg 1			-	-	-	-
Critical Hdwy Stg 2	5.8	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	2.2	-	-	-
Pot Cap-1 Maneuver	13	263	316	-	-	-
Stage 1	105	-	-	-	-	-
Stage 2	333	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	13	263	316	-	-	-
Mov Cap-2 Maneuver	77	-	-	-	-	-
Stage 1	105	-	-	_	-	-
Stage 2	333	_	_	-	_	_
0.030 2						
Approach	EB		NB		SB	
HCM Control Delay, s	18.9		0		0	
HCM LOS	С					
Minar Lang (Maiar M	-4	NDI	NDT	CDL 4	CDT	CDD
Minor Lane/Major Mvm	าเ	NBL		EBLn1	SBT	SBR
Capacity (veh/h)		316	-	_00	-	-
HCM Lane V/C Ratio		-		0.012	-	-
HCM Control Delay (s))	0	-	18.9	-	-
HCM Lane LOS		Α	-	С	-	-
HCM 95th %tile Q(veh)	0	-	0	-	-
	,					

7: Harlem Avenue & 7-Eleven RIRO Access Drive

Int Delay, s/veh
Movement
Traffic Vol, veh/h
Traffic Vol, veh/h
Traffic Vol, veh/h Future Vol, veh/h O Future Vol, veh/h O O O O O O O O O O O O O O O O O O
Future Vol, veh/h 0 47 0 1761 1702 4 Conflicting Peds, #/hr 0 0 0 0 0 0 Sign Control Stop Stop Free
Conflicting Peds, #/hr 0 0 0 0 0 Sign Control Stop Stop Free Free
Sign Control Stop Stop Free Ro Veh in Median Storage, # 0
RT Channelized - None - None - None Storage Length - 0 0 0 0 0 0 Veh in Median Storage, # 0 0 0 0 - 0 0 0 0 Grade, % 0 0 0 0 0 - 0 0 0 0 Peak Hour Factor 95 95 95 95 95 95 95 95 95 95 95 95 95
Storage Length - 0 - - - Veh in Median Storage, # 0 - - 0 0 Grade, % 0 0 - - 0 0 Peak Hour Factor 95 95 95 95 95 95 Heavy Vehicles, % 0 0 0 1 1 Mvmt Flow 0 49 0 1854 1792 5 Major/Minor Minor2 Major1 Major2 Conflicting Flow All - 922 - 0 - Stage 1 - 922 - 0 - Stage 2 - - - - - Critical Hdwy - 6.9 - - - Critical Hdwy Stg 1 - - - - - Critical Hdwy Stg 2 - - - - - - Follow-up Hdwy -
Veh in Median Storage, # 0 - - 0 0 Grade, % 0 - - 0 0 Peak Hour Factor 95 95 95 95 95 Heavy Vehicles, % 0 0 0 1 1 Mvmt Flow 0 49 0 1854 1792 5 Major/Minor Minor2 Major1 Major2 Conflicting Flow All - 922 - 0 - Stage 1 - - - - - Stage 2 - - - - - Critical Hdwy - 6.9 - - - Critical Hdwy Stg 1 - - - - - Critical Hdwy Stg 2 - - - - - Follow-up Hdwy - 3.3 - - - Pot Cap-1 Maneuver 0 - 0 - <
Grade, % 0 - - 0 0 Peak Hour Factor 95 96 96 96 96 96 96 96 96 96 96 96 96 96 96 96
Peak Hour Factor 95
Meavy Vehicles, % 0 0 0 1 1 Mvmt Flow 0 49 0 1854 1792 8 Major/Minor Minor2 Major1 Major2 Conflicting Flow All - 922 - 0 - Stage 1 - - - - - Stage 2 - - - - - Critical Hdwy - 6.9 - - - Critical Hdwy Stg 1 - - - - - - Critical Hdwy Stg 2 - </td
Meavy Vehicles, % 0 0 0 1 1 Mvmt Flow 0 49 0 1854 1792 8 Major/Minor Minor2 Major1 Major2 Conflicting Flow All - 922 - 0 - Stage 1 - - - - - Stage 2 - - - - - Critical Hdwy - 6.9 - - - Critical Hdwy Stg 1 - - - - - - Critical Hdwy Stg 2 - </td
Mvmt Flow 0 49 0 1854 1792 8 Major/Minor Minor2 Major1 Major2 Conflicting Flow All - 922 - 0 - Stage 1 - - - - - - Stage 2 -
Major/Minor Minor2 Major1 Major2 Conflicting Flow All - 922 - 0 - Stage 1 -
Conflicting Flow All - 922 - 0 - Stage 1 - - - - - Stage 2 - - - - - Critical Hdwy - 6.9 - - - Critical Hdwy Stg 1 - - - - - Critical Hdwy Stg 2 - - - - - - Follow-up Hdwy - 3.3 - - - - Pot Cap-1 Maneuver 0 276 0 - - - Stage 1 0 - 0 - - - - Stage 2 0 - 0 - - - - Platoon blocked, % - - - - - - - Mov Cap-1 Maneuver - - - - - - - Mov Cap-2 Maneuver -
Conflicting Flow All - 922 - 0 - Stage 1 - - - - - Stage 2 - - - - - Critical Hdwy - 6.9 - - - Critical Hdwy Stg 1 - - - - - Critical Hdwy Stg 2 - - - - - Follow-up Hdwy - 3.3 - - - Pot Cap-1 Maneuver 0 276 0 - - Stage 1 0 - 0 - - Stage 2 0 - 0 - - Platoon blocked, % - - - - Mov Cap-1 Maneuver - 276 - - - Mov Cap-2 Maneuver - - - - -
Stage 1 - - - - Stage 2 - - - - Critical Hdwy - 6.9 - - - Critical Hdwy Stg 1 - - - - - Critical Hdwy Stg 2 - - - - - Follow-up Hdwy - 3.3 - - - Pot Cap-1 Maneuver 0 276 0 - - Stage 1 0 - 0 - - Stage 2 0 - 0 - - Platoon blocked, % - - - - Mov Cap-1 Maneuver - 276 - - Mov Cap-2 Maneuver - - - -
Stage 2 - - - - Critical Hdwy - 6.9 - - Critical Hdwy Stg 1 - - - - Critical Hdwy Stg 2 - - - - Follow-up Hdwy - 3.3 - - Pot Cap-1 Maneuver 0 276 0 - Stage 1 0 - 0 - Stage 2 0 - 0 - Platoon blocked, % - - - Mov Cap-1 Maneuver - 276 - - Mov Cap-2 Maneuver - - - -
Critical Hdwy - 6.9 - - - Critical Hdwy Stg 1 - - - - - Critical Hdwy Stg 2 - - - - - Follow-up Hdwy - 3.3 - - - Pot Cap-1 Maneuver 0 276 0 - - Stage 1 0 - 0 - - Stage 2 0 - 0 - - Platoon blocked, % - - - - Mov Cap-1 Maneuver - 276 - - - Mov Cap-2 Maneuver - - - - -
Critical Hdwy - 6.9 - - - Critical Hdwy Stg 1 - - - - - Critical Hdwy Stg 2 - - - - - Follow-up Hdwy - 3.3 - - - Pot Cap-1 Maneuver 0 276 0 - - Stage 1 0 - 0 - - Stage 2 0 - 0 - - Platoon blocked, % - - - - Mov Cap-1 Maneuver - 276 - - Mov Cap-2 Maneuver - - - -
Critical Hdwy Stg 1
Critical Hdwy Stg 2 - - - - Follow-up Hdwy - 3.3 - - Pot Cap-1 Maneuver 0 276 0 - Stage 1 0 - 0 - Stage 2 0 - 0 - Platoon blocked, % - - - Mov Cap-1 Maneuver - 276 - - Mov Cap-2 Maneuver - - - -
Follow-up Hdwy - 3.3
Pot Cap-1 Maneuver 0 276 0 Stage 1 0 - 0 Stage 2 0 - 0 Platoon blocked, % Mov Cap-1 Maneuver - 276
Stage 1 0 - 0 - - Stage 2 0 - 0 - - Platoon blocked, % - - - - Mov Cap-1 Maneuver - 276 - - - Mov Cap-2 Maneuver - - - - -
Stage 2 0 - 0 - - Platoon blocked, % - - - - Mov Cap-1 Maneuver - 276 - - - Mov Cap-2 Maneuver - - - - -
Platoon blocked, % - - Mov Cap-1 Maneuver - 276 - - Mov Cap-2 Maneuver - - - -
Mov Cap-1 Maneuver - 276 - - - Mov Cap-2 Maneuver - - - - - - -
Mov Cap-2 Maneuver
·
Stage 1
Stage 2
Approach ED ND OD
Approach EB NB SB
HCM Control Delay, s 20.9 0 0
HCM LOS C
Minor Lane/Major Mvmt NBT EBLn1 SBT SBR
Capacity (veh/h) - 276
HCM Lane V/C Ratio - 0.179
HCM Control Delay (s) - 20.9
HCM Lane LOS - C
HCM 95th %tile Q(veh) - 0.6

Capacity Analysis Summary Sheets Total Projected Weekday Morning Peak Hour Conditions

Lanes, Volumes, Timings

1: Harlem Avenue & 171st Street

1. Hallelli / Wellac	<u> </u>	. 01100										
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Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	Ť	↑ ↑		Ť	↑ ↑		ř	↑ ↑		ř	↑ ↑	
Traffic Volume (vph)	234	211	145	132	229	55	219	834	53	76	830	164
Future Volume (vph)	234	211	145	132	229	55	219	834	53	76	830	164
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	160		0	150		0	160		0	190		0
Storage Lanes	1		0	1		0	1		0	1		0
Taper Length (ft)	145			145			125			125		
Lane Util. Factor	1.00	0.95	0.95	1.00	0.95	0.95	1.00	0.95	0.95	1.00	0.95	0.95
Ped Bike Factor												
Frt		0.939			0.971			0.991			0.975	
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1736	3337	0	1787	3383	0	1752	3405	0	1805	3315	0
Flt Permitted	0.359			0.476			0.128			0.244		
Satd. Flow (perm)	656	3337	0	895	3383	0	236	3405	0	464	3315	0
Right Turn on Red			No			No			No			No
Satd. Flow (RTOR)												
Link Speed (mph)		40			35			40			40	
Link Distance (ft)		229			789			227			516	
Travel Time (s)		3.9			15.4			3.9			8.8	
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	4%	2%	1%	1%	4%	2%	3%	5%	6%	0%	6%	7%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%			0%	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	257	391	0	145	312	0	241	974	0	84	1092	0
Turn Type	pm+pt	NA		pm+pt	NA		pm+pt	NA		pm+pt	NA	
Protected Phases	7	4		3	8		5	2		1	6	
Permitted Phases	4			8			2			6		
Detector Phase	7	4		3	8		5	2		1	6	
Switch Phase												
Minimum Initial (s)	3.0	8.0		3.0	8.0		3.0	15.0		3.0	15.0	
Minimum Split (s)	9.5	24.0		9.5	24.0		9.5	24.0		9.5	24.0	
Total Split (s)	19.0	36.0		14.0	31.0		14.0	56.0		14.0	56.0	
Total Split (%)	15.8%	30.0%		11.7%	25.8%		11.7%	46.7%		11.7%	46.7%	
Yellow Time (s)	3.5	4.0		3.5	4.0		3.5	4.0		3.5	4.0	
All-Red Time (s)	0.0	2.0		0.0	2.0		0.0	2.0		0.0	2.0	
Lost Time Adjust (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Total Lost Time (s)	3.5	6.0		3.5	6.0		3.5	6.0		3.5	6.0	
Lead/Lag	Lead	Lag		Lead	Lag		Lead	Lag		Lead	Lag	
Lead-Lag Optimize?	Yes	Yes		Yes	Yes		Yes	Yes		Yes	Yes	
Recall Mode	None	None		None	None		None	C-Min		None	C-Min	
Act Effct Green (s)	39.0	22.9		30.5	17.9		73.7	62.0		63.3	52.9	
Actuated g/C Ratio	0.32	0.19		0.25	0.15		0.61	0.52		0.53	0.44	
	0.02	2.10		3.23	50		5.5.	J.UL		2.00		

Lanes, Volumes, Timings

1: Harlem Avenue & 171st Street

04/01/2021

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Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
v/c Ratio	0.74	0.61		0.48	0.62		0.72	0.55		0.25	0.75	
Control Delay	45.0	48.4		34.8	52.9		30.0	22.7		12.7	32.6	
Queue Delay	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Total Delay	45.0	48.4		34.8	52.9		30.0	22.7		12.7	32.6	
LOS	D	D		С	D		С	С		В	С	
Approach Delay		47.1			47.1			24.2			31.2	
Approach LOS		D			D			С			С	
Queue Length 50th (ft)	156	147		82	120		81	270		25	380	
Queue Length 95th (ft)	220	189		126	161		#233	382		52	470	
Internal Link Dist (ft)		149			709			147			436	
Turn Bay Length (ft)	160			150			160			190		
Base Capacity (vph)	352	834		308	704		334	1759		372	1462	
Starvation Cap Reductn	0	0		0	0		0	0		0	0	
Spillback Cap Reductn	0	0		0	0		0	0		0	0	
Storage Cap Reductn	0	0		0	0		0	0		0	0	
Reduced v/c Ratio	0.73	0.47		0.47	0.44		0.72	0.55		0.23	0.75	

Intersection Summary

Area Type: Other

Cycle Length: 120

Actuated Cycle Length: 120

Offset: 0 (0%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green

Natural Cycle: 90

Control Type: Actuated-Coordinated

Maximum v/c Ratio: 0.75

Intersection Signal Delay: 33.8
Intersection Capacity Utilization 78.0%

Intersection LOS: C
ICU Level of Service D

Analysis Period (min) 15

95th percentile volume exceeds capacity, queue may be longer.

Queue shown is maximum after two cycles.

Splits and Phases: 1: Harlem Avenue & 171st Street



2: 7-Eleven RIRO Access Drive/USPS Easterly Access Drive & 171st Street

Intersection												
Int Delay, s/veh	1.1											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	EDL		EDI	WDL		WDIN	NDL	INDI	NDK	ODL		SDN
Traffic Vol, veh/h	26	41 → 506	52	0	↑ ↑	78	0	0	78	6	4	7
Future Vol, veh/h	26	506	52	0	534	78	0	0	78	6	0	7
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	- Olop	-	None	- Olop	Olop -	None
Storage Length	_	_	-	_	_	-	_	_	0	_	_	-
Veh in Median Storage,		0	_	_	0	_	_	0	-	_	1	_
Grade, %	" <u>-</u>	0	_	_	0	_	_	0	_	_	0	_
Peak Hour Factor	91	91	91	91	91	91	91	91	91	91	91	91
Heavy Vehicles, %	0	2	0	0	5	1	0	0	0	0	0	0
Mymt Flow	29	556	57	0	587	86	0	0	86	7	0	8
		300	0.				•			•		
Major/Minor M	laiar ⁴			Major			Minor1			/inor?		
	lajor1			Major2						Minor2	4004	207
Conflicting Flow All	673	0	0	-	-	0	-	-	307	966	1301	337
Stage 1	-	-	-	-	-	-	-	-	-	630	630	-
Stage 2	-	-	-	-	-	-	-	-	-	336	671	-
Critical Hdwy	4.1	-	-	-	-	-	-	-	6.9	7.5	6.5	6.9
Critical Hdwy Stg 1	-	-	-	-	-	-	-	-	-	6.5	5.5	-
Critical Hdwy Stg 2	2.2	-	-	-	_	-	-	-	3.3	6.5 3.5	5.5 4	3.3
Follow-up Hdwy Pot Cap-1 Maneuver	927	-	-	0	-	_	0	0	695	212	162	665
	921	-	-	0	-	-	0	0	095	441	478	-
Stage 1 Stage 2	-	-	-	0	-	-	0	0	-	657	478	-
Platoon blocked, %	_	_	_	U	_	_	U	U	_	007	400	_
Mov Cap-1 Maneuver	927	-	-	_	-	<u>-</u>		_	695	179	154	665
Mov Cap-1 Maneuver	921	_	_	_	_	_	_	_	- 095	297	278	- 005
Stage 1			-			_	_	_	_	420	478	
Stage 2			_	_	_	_	_	_	_	548	436	_
Olugo Z										070	700	
A				16/5			ND			0.0		
Approach	EB			WB			NB			SB		
HCM Control Delay, s	0.6			0			10.9			13.8		
HCM LOS							В			В		
Minor Lane/Major Mvmt		NBLn1	EBL	EBT	EBR	WBT	WBR S	SBL _{n1}				
Capacity (veh/h)		695	927	-		-	-	423				
HCM Lane V/C Ratio		0.123		-	-	-	-	0.034				
HCM Control Delay (s)		10.9	9	0.2	-	-	-	13.8				
HCM Lane LOS		В	Α	Α	-	-	-	В				
HCM 95th %tile Q(veh)		0.4	0.1	-	-	-	-	0.1				

3: First Merchant Bank Access Drive & 171st Street

Intersection						
Int Delay, s/veh	1.5					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
		LDK	VVDL			אטוו
Lane Configurations Traffic Vol, veh/h	↑ ↑	0	68	47 ↑	7 7	1
Future Vol, veh/h	583	0	68	473	51	1
Conflicting Peds, #/hr	0	0	00	4/3	0	0
	Free	Free	Free	Free	Stop	Stop
RT Channelized	riee -	None	riee -		Stop -	None
	-	None -	-	None -	0	None -
Storage Length	# O				1	
Veh in Median Storage,		-	-	0		-
Grade, %	91	91		0	0	
Peak Hour Factor			91	91	91	91
Heavy Vehicles, %	2	0	0	5	0	0
Mvmt Flow	641	0	75	520	56	1
Major/Minor M	ajor1	N	Major2	N	Minor1	
Conflicting Flow All	0	0	641	0	1051	321
Stage 1	-	-	_	-	641	-
Stage 2	_	_	-	_	410	-
Critical Hdwy	-	-	4.1	_	6.8	6.9
Critical Hdwy Stg 1	_	_	-	_	5.8	-
Critical Hdwy Stg 2	_	_	_	_	5.8	_
Follow-up Hdwy	_	<u>-</u>	2.2	_	3.5	3.3
Pot Cap-1 Maneuver	_	_	953	_	226	681
Stage 1	_	<u>-</u>	-	_	492	-
Stage 2	_	-	_	_	644	_
Platoon blocked, %	_	<u>-</u>		_	011	
Mov Cap-1 Maneuver	_	_	953	_	201	681
Mov Cap-2 Maneuver	_	_	-	_	315	-
Stage 1			_	_	437	_
Stage 2		_	_	_	644	_
Stage 2	-	-	-	-	044	-
Approach	EB		WB		NB	
HCM Control Delay, s	0		1.5		18.8	
HCM LOS					С	
Minor Lane/Major Mvmt	ı	NBLn1	EBT	EBR	WBL	WBT
	<u> </u>	318	LDI	LDIX	953	WDT
Capacity (veh/h) HCM Lane V/C Ratio		0.18		-	0.078	_
HCM Control Delay (s)		18.8	-		9.1	0.4
HCM Lane LOS		10.0 C	-	-	9.1 A	0.4 A
LICIVI LAHE LUS			-	-		А
HCM 95th %tile Q(veh)		0.6	_	_	0.3	-

4: Oconto Avenue/USPS Westerly Access Drive & 171st Street

Movement EBL EBT EBR WBL WBR WBR NBL NBT NBR SBL SBR SBR Configurations Traffic Vol, veh/h 0 552 1 6 514 4 3 3 0 6 25 2 16 Conflicting Peds, #hr 0 0 0 0 0 0 0 0 0	Intersection												
Movement EBL EBT EBR WBL WBT WBR NBL NBT NBR SBL SBR SBR SBR SBR Configurations Traffic Vol., veh/h 0 5552 1 6 514 4 3 3 0 6 25 2 16 Future Vol., veh/h 0 5552 1 6 514 4 3 3 0 6 25 2 16 Conflicting Peds, #hr 0 0 0 0 0 0 0 0 0		0.7											
Lane Configurations					14/DI	MOT	14/00	NE	NET	NDD	0.01	007	222
Traffic Vol, veh/h Future Vol, veh/h O 552 1 6 514 4 3 3 0 6 25 2 16 Future Vol, veh/h O 552 1 6 514 4 3 3 0 6 25 2 16 Future Vol, veh/h O 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0		EBL		EBR			WBR	NBL		NBK	SBL		SBR
Future Vol, veh/h Conflicting Peds, #/hr Sign Control Free Free Free Free Free Free Free Free		^		4				^		^	٥٦		40
Conflicting Peds, #/hr													
Sign Control Free RTCE Free RTCE Free RTCE None Free RTCE None Free None Free None Free None Stop None None - None	<u> </u>												
RT Channelized - None - None - None - None - None - None Storage Length -										-			
Storage Length													
Veh in Median Storage, # 0 - 0 - 0 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 0 2 0 0 - 0 0 - 0 0 - 0 0 - 0 0 - 0 <td></td> <td></td> <td>-</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td>-</td> <td></td> <td></td> <td>-</td> <td>None</td>			-						-			-	None
Grade, % - 0 0 0 0 0 - 0 0 0 0 0 0 0 0			0						1			1	-
Peak Hour Factor													
Heavy Vehicles, %													
Mynt Flow 0 627 1 7 584 5 3 0 7 28 2 18 Major/Minor Major1 Major2 Minor1 Minor2 Conflicting Flow All 589 0 0 628 0 0 935 1231 314 915 1229 295 Stage 1 - - - - 628 628 - 601 601 - Stage 2 - - - - 307 603 - 314 628 - Critical Hdwy Stg 1 - - - - 6.5 5.5 - 6.58 5.5 - Critical Hdwy Stg 2 - - - - 6.5 5.5 - 6.58 5.5 - Critical Hdwy Stg 2 - - - - 6.5 5.5 - 6.58 5.5 - 6.58 5.5 - 6.58													
Major/Minor Major1 Major2 Minor1 Minor2 Conflicting Flow All 589 0 0 628 0 0 935 1231 314 915 1229 295 Stage 1 - - - - - 628 628 - 601 601 - Stage 2 - - - - 307 603 - 314 628 - Critical Hdwy Stg 1 - - - - 6.5 5.5 - 6.58 5.5 - - - 6.5 5.5 - 6.58 5.5 - - - 6.5 5.5 - 6.58 5.5 - - - 6.5 5.5 - 6.58 5.5 - - - - - 6.5 5.5 - 6.58 5.5 - - - - - - - - - - </td <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td>-</td> <td></td> <td></td> <td></td> <td></td>									-				
Conflicting Flow All 589 0 0 628 0 0 935 1231 314 915 1229 295 Stage 1 628 628 - 601 601 - Stage 2 307 603 - 314 628 - Critical Hdwy 4.1 4.1 7.5 6.5 7.24 7.58 6.5 6.9 Critical Hdwy Stg 1 6.5 5.5 - 6.58 5.5 - Critical Hdwy Stg 2 6.5 5.5 - 6.58 5.5 - Critical Hdwy Stg 2 6.5 5.5 - 6.58 5.5 - Critical Hdwy Stg 2 6.5 5.5 - 6.58 5.5 - Critical Hdwy Stg 2 6.5 5.5 - 6.58 5.5 - Critical Hdwy Planeuver 996 964 223 179 639 225 179 707 Stage 1 442 479 - 449 493 - Stage 2 683 492 - 666 479 - Platoon blocked, % 683 492 - 666 479 - Platoon blocked, % 683 492 - 666 479 - Platoon blocked, % 833 302 - 338 301 - Stage 1 442 479 - 449 490 - Stage 2 658 489 - 659 479 - Stage 2 658 489 - 659 479 - Platoon blocked, %	WWW.CT IOW	U	ULI			004	U	U	U		20		10
Conflicting Flow All 589 0 0 628 0 0 935 1231 314 915 1229 295 Stage 1 628 628 - 601 601 - Stage 2 307 603 - 314 628 - Critical Hdwy 4.1 4.1 7.5 6.5 7.24 7.58 6.5 6.9 Critical Hdwy Stg 1 6.5 5.5 - 6.58 5.5 - Critical Hdwy Stg 2 6.5 5.5 - 6.58 5.5 - Critical Hdwy Stg 2 6.5 5.5 - 6.58 5.5 - Critical Hdwy Stg 2 6.5 5.5 - 6.58 5.5 - Critical Hdwy Stg 2 6.5 5.5 - 6.58 5.5 - 6.58 5.5 - Critical Hdwy Planeuver 996 964 223 179 639 225 179 707 Stage 1 442 479 - 449 493 - Stage 2 683 492 - 666 479 - Platoon blocked, % 683 492 - 666 479 - Platoon blocked, % 683 492 - 666 479 - Platoon blocked, % 833 302 - 338 301 - Stage 1 442 479 - 449 490 - Stage 2 658 489 - 659 479 - Stage 2 658 489 - 659 479 - Platoon blocked, %	Main /Min av	1-:4			4-1-0			Alm and			4:		
Stage 1 - - - - 628 628 - 601 601 - Stage 2 - - - - - 307 603 - 314 628 - Critical Hdwy 4.1 - - 4.1 - - 7.5 6.5 7.24 7.58 6.5 6.9 Critical Hdwy Stg 1 - - - - - 6.5 5.5 - 6.58 5.5 - Critical Hdwy Stg 2 - - - - 6.5 5.5 - 6.58 5.5 - Follow-up Hdwy 2.2 - 2.2 - 3.5 4 3.47 3.54 4 3.3 Pollow-up Hdwy 2.2 - 964 - 223 179 639 225 179 707 Stage 1 - - - - 442 479 - 449 493 - - - - - - - - -									4004			4000	005
Stage 2 - - - - - 307 603 - 314 628 - Critical Hdwy 4.1 - - 4.1 - - 7.5 6.5 7.24 7.58 6.5 6.9 Critical Hdwy Stg 1 - - - - 6.5 5.5 - 6.58 5.5 - Critical Hdwy Stg 2 - - - - 6.5 5.5 - 6.58 5.5 - Follow-up Hdwy 2.2 - 2.2 - 3.5 4 3.47 3.54 4 3.3 Pot Cap-1 Maneuver 996 - 964 - - 223 179 639 225 179 707 Stage 2 - <		589		0	628								295
Critical Hdwy 4.1 - - 4.1 - - 7.5 6.5 7.24 7.58 6.5 6.9 Critical Hdwy Stg 1 - - - - - - 6.5 5.5 - 6.58 5.5 - Critical Hdwy Stg 2 - - - - - 6.5 5.5 - 6.58 5.5 - Follow-up Hdwy 2.2 - - 2.2 - 3.5 4 3.47 3.54 4 3.3 Pot Cap-1 Maneuver 996 - - 964 - - 223 179 639 225 179 707 Stage 2 - - - - - - 683 492 - 666 479 - Platoon blocked, % -		-		-	-								-
Critical Hdwy Stg 1 - - - - - 6.5 5.5 - 6.58 5.5 - Critical Hdwy Stg 2 - - - - - 6.5 5.5 - 6.58 5.5 - Follow-up Hdwy 2.2 - - 2.2 - - 3.5 4 3.47 3.54 4 3.3 Pot Cap-1 Maneuver 996 - - 964 - - 223 179 639 225 179 707 Stage 1 - - - - - - - 442 479 - 449 493 - Stage 2 -			-	-	-	-							
Critical Hdwy Stg 2 - - - - 6.5 5.5 - 6.58 5.5 - Follow-up Hdwy 2.2 - - 2.2 - - 3.5 4 3.47 3.54 4 3.3 Pot Cap-1 Maneuver 996 - - 964 - - 223 179 639 225 179 707 Stage 1 - - - - - 442 479 - 449 493 - Stage 2 - - - - - 668 492 - 666 479 - Platoon blocked, % - - - - - - - - 683 492 - 666 479 - Platoon blocked, % - - - - - 215 178 639 221 178 707 Mov Cap-1 Maneuver 996 - - - 442 479 - 449 490 - - </td <td></td> <td></td> <td>-</td> <td>-</td> <td></td> <td>-</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>			-	-		-							
Follow-up Hdwy 2.2 - 2.2 - 3.5 4 3.47 3.54 4 3.3 Pot Cap-1 Maneuver 996 - 964 - 223 179 639 225 179 707 Stage 1 442 479 - 449 493 - 542			-	-		-							
Pot Cap-1 Maneuver 996 - - 964 - - 223 179 639 225 179 707 Stage 1 - - - - - 442 479 - 449 493 - Stage 2 - - - - - 668 479 - Platoon blocked, % - - - - - - - 666 479 - Mov Cap-1 Maneuver 996 - 964 - - 215 178 639 221 178 707 Mov Cap-1 Maneuver 996 - - 964 - - 215 178 639 221 178 707 Mov Cap-2 Maneuver - - - - 442 479 - 449 490 - Stage 2 - - 658 489 - 659 479 - <	, ,		-	-		-							
Stage 1 - - - - 442 479 - 449 493 - Stage 2 - - - - - 683 492 - 666 479 - Platoon blocked, % -			-	-		-							
Stage 2 - - - - 683 492 - 666 479 - Platoon blocked, % - <			_	_		_							
Platoon blocked, % -			-	-	_	_							_
Mov Cap-1 Maneuver 996 - - 964 - - 215 178 639 221 178 707 Mov Cap-2 Maneuver - - - - - - 333 302 - 338 301 - Stage 1 - - - - - 442 479 - 449 490 - Stage 2 - - - - - 658 489 - 659 479 - Approach EB WB NB SB HCM Control Delay, s 0 0.1 12.5 14.8 HCM Lane/Major Mvmt NBLn1 EBL EBT EBR WBL WBT WBR SBLn1 Capacity (veh/h) 489 996 - - 964 - - 417 HCM Lane V/C Ratio 0.021 - - - - 0.007 - </td <td></td> <td>_</td> <td>_</td> <td>_</td> <td></td> <td>_</td> <td></td> <td>000</td> <td>732</td> <td></td> <td>000</td> <td>713</td> <td></td>		_	_	_		_		000	732		000	713	
Mov Cap-2 Maneuver - - - - - 333 302 - 338 301 - Stage 1 - - - - - 442 479 - 449 490 - Stage 2 - - - - - 658 489 - 659 479 - Approach EB WB NB NB SB HCM Control Delay, s 0 0.1 12.5 14.8 HCM Lane/Major Mvmt NBLn1 EBL EBT EBR WBL WBT WBR SBLn1 Capacity (veh/h) 489 996 - - 964 - - 417 HCM Lane V/C Ratio 0.021 - - 0.007 - - 0.117 HCM Control Delay (s) 12.5 0 - 8.8 - - 14.8 HCM Lane LOS B A - <		996	_	_	964			215	178	639	221	178	707
Stage 1 - - - - 442 479 - 449 490 - Stage 2 - - - - - 658 489 - 659 479 - Approach EB WB NB NB SB HCM Control Delay, s 0 0.1 12.5 14.8 HCM LOS B B B Minor Lane/Major Mvmt NBLn1 EBL EBT EBR WBL WBT WBR SBLn1 Capacity (veh/h) 489 996 - - 964 - - 417 HCM Lane V/C Ratio 0.021 - - 0.007 - - 0.117 HCM Control Delay (s) 12.5 0 - - 8.8 - - 14.8 HCM Lane LOS B A - - A - - B	•		_	_		_							
Stage 2 - - - - 658 489 - 659 479 - Approach EB WB NB SB HCM Control Delay, s 0 0.1 12.5 14.8 HCM LOS B B B Minor Lane/Major Mvmt NBLn1 EBL EBR WBL WBT WBR SBLn1 Capacity (veh/h) 489 996 - - 964 - - 417 HCM Lane V/C Ratio 0.021 - - 0.007 - - 0.117 HCM Control Delay (s) 12.5 0 - - 8.8 - - 14.8 HCM Lane LOS B A - - A - - B	•	-	-	-	-	-							-
Approach EB WB NB SB HCM Control Delay, s 0 0.1 12.5 14.8 HCM LOS B B B Minor Lane/Major Mvmt NBLn1 EBL EBT EBR WBL WBT WBR SBLn1 Capacity (veh/h) 489 996 - - 964 - - 417 HCM Lane V/C Ratio 0.021 - - 0.007 - 0.117 HCM Control Delay (s) 12.5 0 - 8.8 - - 14.8 HCM Lane LOS B A - - A - - B		_	_	_	_	_	-			_			_
HCM Control Delay, s	0												
HCM Control Delay, s	Annroach	ED			\//D			NID			CD		
Minor Lane/Major Mvmt NBLn1 EBL EBR WBL WBT WBR SBLn1 Capacity (veh/h) 489 996 - - 964 - - 417 HCM Lane V/C Ratio 0.021 - - 0.007 - - 0.117 HCM Control Delay (s) 12.5 0 - - 8.8 - - 14.8 HCM Lane LOS B A - - A - B													
Minor Lane/Major Mvmt NBLn1 EBL EBR WBL WBT WBR SBLn1 Capacity (veh/h) 489 996 - - 964 - - 417 HCM Lane V/C Ratio 0.021 - - - 0.007 - - 0.117 HCM Control Delay (s) 12.5 0 - - 8.8 - - 14.8 HCM Lane LOS B A - - A - - B		U			U. I								
Capacity (veh/h) 489 996 - - 964 - - 417 HCM Lane V/C Ratio 0.021 - - - 0.007 - - 0.117 HCM Control Delay (s) 12.5 0 - - 8.8 - - 14.8 HCM Lane LOS B A - A - B	I IOIVI LOS							D			D		
Capacity (veh/h) 489 996 - - 964 - - 417 HCM Lane V/C Ratio 0.021 - - 0.007 - - 0.117 HCM Control Delay (s) 12.5 0 - - 8.8 - - 14.8 HCM Lane LOS B A - A - B													
HCM Lane V/C Ratio 0.021 - - 0.007 - - 0.117 HCM Control Delay (s) 12.5 0 - - 8.8 - - 14.8 HCM Lane LOS B A - A - B					EBT	EBR		WBT	WBR :				
HCM Control Delay (s) 12.5 0 8.8 14.8 HCM Lane LOS B A A B				996	-			-					
HCM Lane LOS B A A B					-			-					
HCM 95th %tile Q(veh) 0.1 0 0.4													
	HCM 95th %tile Q(veh)		0.1	0	-	-	0	-	-	0.4			

5: Harlem Avenue & Tinley Park Commons Access Drive

Intersection							
Int Delay, s/veh	0.5						
Movement	WBL	WBR	NBT	NBR	SBL	SBT	
	WDL	WDK 7		אטוז	SDL Š		
Lane Configurations Traffic Vol, veh/h	ገ 14	24	↑ ↑	42	1 24	↑ ↑	
Future Vol, veh/h	14	24	1082	42	24	1071	
	0	0		42	0		
Conflicting Peds, #/hr			0		Free	0	
Sign Control RT Channelized	Stop -	Stop None	Free	Free None		Free None	
Storage Length	0	0	-		160	None	
			-	-		-	
Veh in Median Storage		-	0	-	-	0	
Grade, %	0	-	0	-	-	0	
Peak Hour Factor	92	92	92	92	92	92	
Heavy Vehicles, %	0	0	5	0	0	6	
Mvmt Flow	15	26	1176	46	26	1164	
Major/Minor	Minor1		Major1		Major2		
Conflicting Flow All	1833	611	0	0	1222	0	
Stage 1	1199	-	-	-	-	-	
Stage 2	634	_	_	_	_	_	
Critical Hdwy	6.8	6.9	_	_	4.1	_	
Critical Hdwy Stg 1	5.8	0.9		_	4.1		
Critical Hdwy Stg 2	5.8		_	<u>-</u>	_	_	
Follow-up Hdwy	3.5	3.3		-	2.2		
Pot Cap-1 Maneuver	69	3.3 442	-	-	578	_	
	252	44Z -	-	-	310	-	
Stage 1	496		-	-	-	-	
Stage 2	490	-	-	-	-	-	
Platoon blocked, %		440	_	-	E70	-	
Mov Cap-1 Maneuver		442	-	-	578	-	
Mov Cap-2 Maneuver	172	-	-	-	-	-	
Stage 1	241	-	-	-	-	-	
Stage 2	496	-	-	-	-	-	
Approach	WB		NB		SB		
HCM Control Delay, s	19		0		0.3		
HCM LOS	C		U		0.0		
I IOWI LOO	U						
Minor Lane/Major Mvn	nt	NBT	NBRV	VBLn1V	VBLn2	SBL	SBT
Capacity (veh/h)		_	_	172	442	578	-
HCM Lane V/C Ratio		-	-	0.088			-
HCM Control Delay (s)	-	-	28	13.7	11.5	-
HCM Lane LOS		_	_	D	В	В	-
HCM 95th %tile Q(veh	1)	_	_	0.3	0.2	0.1	_
2 22 70 S.(101	7						

6: Harlem Avenue & DuPage Medical Group

Intersection						
Int Delay, s/veh	0.2					
Movement	EBL	EBR	NBL	NDT	SBT	SBR
		EDK	INDL	NBT		אמט
Lane Configurations	Y	4		4100	↑ \$	
Traffic Vol, veh/h	1	1	8	1123	1079	6
Future Vol, veh/h	1	1	8	1123	1079	6
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage	, # 1	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	0	0	0	5	6	0
Mvmt Flow	1	1	9	1221	1173	7
	Minor2		//ajor1	N	Major2	
Conflicting Flow All	1806	590	1180	0	-	0
Stage 1	1177	-	-	-	-	-
Stage 2	629	-	-	-	-	-
Critical Hdwy	6.8	6.9	4.1	_	_	-
Critical Hdwy Stg 1	5.8	-	_	_	_	_
Critical Hdwy Stg 2	5.8	_	_	_	_	_
Follow-up Hdwy	3.5	3.3	2.2	_	<u>-</u>	_
Pot Cap-1 Maneuver	72	456	599	_	_	_
Stage 1	259	-	-	_	_	_
	499					
Stage 2	499	-	-	-	-	-
Platoon blocked, %	00	450	500	-	-	-
Mov Cap-1 Maneuver	69	456	599	-	-	-
Mov Cap-2 Maneuver	177	-	-	-	-	-
Stage 1	247	-	-	-	-	-
Stage 2	499	-	-	-	-	-
Annroach	ED		ND		CD	
Approach	EB		NB		SB	
HCM Control Delay, s	19.2		0.4		0	
HCM LOS	С					
Minor Lane/Major Mvm	nt	NBL	NRT	EBLn1	SBT	SBR
	IL .					אמט
Capacity (veh/h)		599	-	255	-	-
HCM Lane V/C Ratio		0.015		0.009	-	-
HCM Control Delay (s)		11.1	0.3	19.2	-	-
HCM Lane LOS		В	Α	С	-	-
HCM 95th %tile Q(veh)	0	-	0	-	-

7: Harlem Avenue & 7-Eleven RIRO Access Drive

Intersection						
Int Delay, s/veh	0.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	LDL	ZDK ř	NDL	<u>ND1</u>	↑	JON
Traffic Vol, veh/h	0	56	0	TT 1106	T → 1048	59
Future Vol, veh/h	0	56	0	1106	1048	59
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	- Stop	None	-		-	None
Storage Length	_	0	_	-	_	-
Veh in Median Storage		-	_	0	0	_
Grade, %	0, # 0	<u>-</u>	_	0	0	_
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	0	0	0	5	6	0
Mvmt Flow	0	59	0	1164	1103	62
IVIVIIIL FIOW	U	59	U	1104	1103	02
Major/Minor	Minor2	N	Major1	N	Major2	
Conflicting Flow All	-	583	-	0	-	0
Stage 1	-	-	-	-	-	-
Stage 2	-	-	-	-	-	-
Critical Hdwy	-	6.9	-	-	-	-
Critical Hdwy Stg 1	-	-	-	-	-	-
Critical Hdwy Stg 2	_	_	-	-	_	-
Follow-up Hdwy	-	3.3	-	-	-	-
Pot Cap-1 Maneuver	0	461	0	-	-	-
Stage 1	0	-	0	-	-	-
Stage 2	0	_	0	_	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	-	461	-	-	-	-
Mov Cap-2 Maneuver		_	-	_	_	-
Stage 1	_	_	-	_	-	-
Stage 2	_	_	_	_	_	_
olago 2						
Approach	EB		NB		SB	
HCM Control Delay, s	14		0		0	
HCM LOS	В					
Minor Lane/Major Mvn	nt	NBT E	EBLn1	SBT	SBR	
Capacity (veh/h)		-		_	_	
HCM Lane V/C Ratio			0.128	_	_	
HCM Control Delay (s)	_	14	_	_	
HCM Lane LOS	,	_	В	_	_	
HCM 95th %tile Q(veh	1)	_	0.4	_	_	
/ 04110 04 (1011	-)		9.1			

8: Harlem Avenue & Site Access Drive

Intersection						
Int Delay, s/veh	0.3					
		EDD	NDI	NDT	CDT	CDD
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations		7		^	ħβ	
Traffic Vol, veh/h	0	50	0	1106	1045	59
Future Vol, veh/h	0	50	0	1106	1045	59
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	-	0	-	-	-	-
Veh in Median Storage,	# 0	-	-	0	0	-
Grade, %	0	-	-	0	0	_
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	0	0	0	5	6	0
Mymt Flow	0	53	0	1164	1100	62
IVIVIIIL I IOW	U	55	U	1104	1100	02
Major/Minor N	/linor2	N	/lajor1	N	Major2	
Conflicting Flow All	-	581	-	0	-	0
Stage 1	-	-	-	-	_	-
Stage 2	_	_	-	-	_	-
Critical Hdwy	_	6.9	_	_	_	_
Critical Hdwy Stg 1	_	-	_	_	_	_
Critical Hdwy Stg 2	_	_	_	_	_	_
Follow-up Hdwy	_	3.3	_	_	_	_
		462		-		_
Pot Cap-1 Maneuver	0		0	-	-	-
Stage 1	0	-	0	-	-	-
Stage 2	0	-	0	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	-	462	-	-	-	-
Mov Cap-2 Maneuver	-	-	-	-	-	-
Stage 1	-	-	-	-	-	-
Stage 2	_	_	-	_	_	_
Approach	EB		NB		SB	
HCM Control Delay, s	13.8		0		0	
HCM LOS	В					
Minor Long/Major Mund		NDT	DI ~1	CDT	CDD	
Minor Lane/Major Mvmt		NBT E		SBT	SBR	
Capacity (veh/h)		-	462	-	-	
HCM Lane V/C Ratio		-	0.114	-	-	
HCM Control Delay (s)		-	13.8	-	-	
HCM Lane LOS		-	В	-	-	
HCM 95th %tile Q(veh)		-	0.4	-	-	

Capacity Analysis Summary Sheets
Total Projected Weekday Evening Peak Hour Conditions

Lanes, Volumes, Timings 1: Harlem Avenue & 171st Street

Lane Group	1. Hallelli Avenue	Q 17 131	. Oli CC	L,								0-1/1	01/2021
Tarlic Volume (vph)		•	-	\rightarrow	•	←	•	4	†	<i>></i>	>	ļ	4
Tarler (Volume (yph)	Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Traffic Volume (γph)	Lane Configurations	*	♦ 13-		*	∳ Љ		ሻ	↑ 1>		ኻ	∳ Љ	
Future Volume (vph)		285		233	268		60			128	150		258
			441	233	268	383	60	267		128	150	1276	258
Lane Width (ft)	· · · /	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft) 160	(,												
Storage Length (ft)			0%			0%			0%			0%	
Taper Length (#t)		160		0	150		0	160		0	190		0
Lane Util. Factor	Storage Lanes	1		0	1		0	1		0	1		0
Ped Bike Factor Frt	Taper Length (ft)	145			145			125			125		
Fit Protected 0.950		1.00	0.95	0.95	1.00	0.95	0.95	1.00	0.95	0.95	1.00	0.95	0.95
Filt Protected	Ped Bike Factor												
Satd. Flow (prot) 1787 3365 0 1787 3538 0 1787 3525 0 1805 3485 0 1817 0.064 0	Frt		0.948			0.980			0.987			0.975	
Fit Permitted	Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (perm) 438 3365 0 327 3538 0 115 3525 0 122 3485 0 124 No No No No No No No N	Satd. Flow (prot)	1787	3365	0	1787	3538	0	1787	3525	0	1805	3485	0
Right Turn on Red No	,	0.233			0.174			0.061			0.064		
Right Turn on Red No	Satd. Flow (perm)	438	3365	0	327	3538	0	115	3525	0	122	3485	0
Link Speed (mph) 40 35 40 40 Link Distance (ft) 229 789 227 516 Travel Time (s) 3.9 15.4 3.9 8.8 Confl. Peds. (#hr) Confl. Peds. (#hr) Confl. Bikes (#/hr) Peak Hour Factor 0.97 <t< td=""><td></td><td></td><td></td><td>No</td><td></td><td></td><td>No</td><td></td><td></td><td>No</td><td></td><td></td><td>No</td></t<>				No			No			No			No
Link Speed (mph) 40 35 40 40 Link Distance (ft) 229 789 227 516 Travel Time (s) 3.9 15.4 3.9 8.8 Confl. Peds. (#hr) Confl. Peds. (#hr) Confl. Bikes (#/hr) Peak Hour Factor 0.97 <t< td=""><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></t<>													
Link Distance (ft)			40			35			40			40	
Confil Bikes (#hr)			229			789			227			516	
Confl. Bikes (#hr)	Travel Time (s)		3.9			15.4			3.9			8.8	
Peak Hour Factor	Confl. Peds. (#/hr)												
Growth Factor 100%	Confl. Bikes (#/hr)												
Heavy Vehicles (%)	Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Bus Blockages (#hr) 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Parking (#/hr) Mid-Block Traffic (%) 0% 0% 0% 0% 0% 0% 0%	Heavy Vehicles (%)	1%	1%	3%	1%	0%	0%	1%	1%	2%	0%	1%	1%
Mid-Block Traffic (%) 0% 0% 0% 0% Shared Lane Traffic (%) Lane Group Flow (vph) 294 695 0 276 457 0 275 1550 0 155 1581 0 Turn Type pm+pt NA pm+pt NA pm+pt NA pm+pt NA Protected Phases 7 4 3 8 5 2 1 6 Permitted Phases 4 8 2 6 5 6 5 2 1 6 6 6 5 2 1 6 7 4 3 8 5 2 1 6 7 4 3 8 5 2	. ,	0	0	0	0	0	0	0	0	0	0	0	0
Shared Lane Traffic (%) Lane Group Flow (vph) 294 695 0 276 457 0 275 1550 0 155 1581 0													
Lane Group Flow (vph) 294 695 0 276 457 0 275 1550 0 155 1581 0 Turn Type pm+pt NA pm+pt NA pm+pt NA pm+pt NA Protected Phases 7 4 3 8 5 2 1 6 Permitted Phases 4 8 2 6 6 6 Detector Phase 7 4 3 8 5 2 1 6 Switch Phase 8 3.0 8.0 3.0 15.0 3.0 15.0 Minimum Initial (s) 3.0 8.0 3.0 15.0 3.0 15.0 Minimum Split (s) 9.5 24.0 9.5 24.0 9.5 24.0 Total Split (s) 9.0 29.0 29.0 29.0 24.0 73.0 18.0 67.0 Total Split (%) 14.3% 20.7% 14.3% 20.7%			0%			0%			0%			0%	
Turn Type pm+pt NA pm+pt NA pm+pt NA pm+pt NA Protected Phases 7 4 3 8 5 2 1 6 Permitted Phases 4 8 2 6 6 6 Detector Phase 7 4 3 8 5 2 1 6 Switch Phase Minimum Initial (s) 3.0 8.0 3.0 15.0 3.0 15.0 Minimum Split (s) 9.5 24.0 9.5 24.0 9.5 24.0 Minimum Split (s) 9.5 24.0 9.5 24.0 9.5 24.0 Minimum Split (s) 9.5 24.0 9.5 24.0 9.5 24.0 Minimum Split (s) 9.5 24.0 9.5 24.0 9.5 24.0 Total Split (s) 20.0 29.0 29.0 24.0 73.0 18.0 67.0 Total Split (s) 14.3% 20.7%													
Protected Phases 7 4 3 8 5 2 1 6 Permitted Phases 4 8 2 6 6 2 1 6 Detector Phase 7 4 3 8 5 2 1 6 Switch Phase Winimum Initial (s) 3.0 8.0 3.0 8.0 3.0 15.0 3.0 15.0 Minimum Split (s) 9.5 24.0 9.0 9.5	` '	294	695	0	276	457	0	275	1550	0	155	1581	0
Protected Phases 7 4 3 8 5 2 1 6 Permitted Phases 4 8 2 6 6 1 Detector Phase 7 4 3 8 5 2 1 6 Switch Phase Minimum Initial (s) 3.0 8.0 3.0 8.0 3.0 15.0 3.0 15.0 Minimum Split (s) 9.5 24.0 9.0		pm+pt	NA		pm+pt	NA		pm+pt	NA		pm+pt	NA	
Detector Phase 7 4 3 8 5 2 1 6 Switch Phase Minimum Initial (s) 3.0 8.0 3.0 15.0 3.0 15.0 Minimum Split (s) 9.5 24.0 9.5 24.0 9.5 24.0 Total Split (s) 20.0 29.0 20.0 29.0 24.0 73.0 18.0 67.0 Total Split (%) 14.3% 20.7% 14.3% 20.7% 17.1% 52.1% 12.9% 47.9% Yellow Time (s) 3.5 4.0 3.5 4.0 3.5 4.0 3.5 4.0 3.5 4.0 3.5 4.0 3.5 4.0 3.5 4.0 3.5 4.0 3.5 4.0 3.5 4.0 3.5 4.0 3.5 4.0 3.5 4.0 3.5 4.0 3.5 4.0 3.5 4.0 3.5 4.0 3.5 6.0 3.5 6.0 3.5 6.0 3.5			4			8			2			6	
Switch Phase Minimum Initial (s) 3.0 8.0 3.0 8.0 3.0 15.0 3.0 15.0 Minimum Split (s) 9.5 24.0 9.5 47.9% 24.0	Permitted Phases	4			8			2			6		
Minimum Initial (s) 3.0 8.0 3.0 8.0 3.0 15.0 3.0 15.0 Minimum Split (s) 9.5 24.0 9.5 24.0 9.5 24.0 9.5 24.0 9.5 24.0 9.5 24.0 73.0 18.0 67.0 Total Split (s) 20.0 29.0 29.0 24.0 73.0 18.0 67.0 Total Split (%) 14.3% 20.7% 14.3% 20.7% 17.1% 52.1% 12.9% 47.9% Yellow Time (s) 3.5 4.0 3.5 4.0 3.5 4.0 3.5 4.0 All-Red Time (s) 0.0 2.0 0.0 2.0 0.0 2.0 0.0 2.0 0.0 2.0 0.0 2.0 0.0 2.0 0.0 2.0 0.0 2.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 3.5 6.0 3.5	Detector Phase	7	4		3	8		5	2		1	6	
Minimum Split (s) 9.5 24.0 9.5 24.0 9.5 24.0 Total Split (s) 20.0 29.0 20.0 29.0 24.0 73.0 18.0 67.0 Total Split (%) 14.3% 20.7% 14.3% 20.7% 17.1% 52.1% 12.9% 47.9% Yellow Time (s) 3.5 4.0 3.5 4.0 3.5 4.0 All-Red Time (s) 0.0 2.0 0.0 2.0 0.0 2.0 Lost Time Adjust (s) 0.0 0.0 0.0 0.0 0.0 0.0 0.0 Total Lost Time (s) 3.5 6.0 3.5 6.0 3.5 6.0 0	Switch Phase												
Total Split (s) 20.0 29.0 29.0 29.0 29.0 24.0 73.0 18.0 67.0 Total Split (%) 14.3% 20.7% 14.3% 20.7% 17.1% 52.1% 12.9% 47.9% Yellow Time (s) 3.5 4.0 3.5 4.0 3.5 4.0 All-Red Time (s) 0.0 2.0 0.0 2.0 0.0 2.0 Lost Time Adjust (s) 0.0 0.0 0.0 0.0 0.0 0.0 0.0 Total Lost Time (s) 3.5 6.0 3.5 6.0 3.5 6.0 3.5 6.0 Lead/Lag Lead Lag Lead Lag Lead Lag Lead-Lag Optimize? Yes Yes Yes Yes Yes Yes Recall Mode None None None None C-Min None C-Min Act Effct Green (s) 42.0 23.0 42.0 23.0 87.5 69.5 76.6 62	Minimum Initial (s)	3.0	8.0		3.0	8.0		3.0	15.0		3.0	15.0	
Total Split (%) 14.3% 20.7% 14.3% 20.7% 17.1% 52.1% 12.9% 47.9% Yellow Time (s) 3.5 4.0 3.5 4.0 3.5 4.0 All-Red Time (s) 0.0 2.0 0.0 2.0 0.0 2.0 Lost Time Adjust (s) 0.0 0.0 0.0 0.0 0.0 0.0 Total Lost Time (s) 3.5 6.0 3.5 6.0 3.5 6.0 Lead/Lag Lead Lag Lead Lag Lead Lag Lead-Lag Optimize? Yes Yes Yes Yes Yes Yes Recall Mode None None None None None C-Min Act Effct Green (s) 42.0 23.0 42.0 23.0 87.5 69.5 76.6 62.1	Minimum Split (s)	9.5	24.0		9.5	24.0		9.5	24.0		9.5	24.0	
Yellow Time (s) 3.5 4.0 3.5 4.0 3.5 4.0 All-Red Time (s) 0.0 2.0 0.0 2.0 0.0 2.0 0.0 2.0 Lost Time Adjust (s) 0.0	Total Split (s)	20.0	29.0		20.0	29.0		24.0	73.0		18.0	67.0	
All-Red Time (s) 0.0 2.0 0.0 2.0 0.0 2.0 0.0 2.0 0.0 2.0 0.0 2.0 0.0 2.0 0.0 2.0 0.0 <td></td> <td>14.3%</td> <td>20.7%</td> <td></td> <td>14.3%</td> <td>20.7%</td> <td></td> <td>17.1%</td> <td>52.1%</td> <td></td> <td>12.9%</td> <td>47.9%</td> <td></td>		14.3%	20.7%		14.3%	20.7%		17.1%	52.1%		12.9%	47.9%	
Lost Time Adjust (s) 0.0 3.5 6.0 3.5 6.0 1.0 0.0	Yellow Time (s)	3.5	4.0		3.5	4.0		3.5	4.0		3.5	4.0	
Total Lost Time (s) 3.5 6.0 3.5 6.0 3.5 6.0 Lead/Lag Lead Lag Lead Lag Lead Lag Lead-Lag Optimize? Yes Yes Yes Yes Yes Yes Recall Mode None None None None None C-Min Act Effct Green (s) 42.0 23.0 42.0 23.0 87.5 69.5 76.6 62.1	All-Red Time (s)	0.0	2.0		0.0	2.0		0.0	2.0		0.0	2.0	
Total Lost Time (s) 3.5 6.0 3.5 6.0 3.5 6.0 Lead/Lag Lead Lag Lead Lag Lead Lag Lead-Lag Optimize? Yes Yes Yes Yes Yes Yes Recall Mode None None None None C-Min None C-Min Act Effct Green (s) 42.0 23.0 42.0 23.0 87.5 69.5 76.6 62.1	Lost Time Adjust (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Lead-Lag Optimize? Yes		3.5	6.0		3.5	6.0		3.5	6.0		3.5	6.0	
Lead-Lag Optimize? Yes	()												
Recall Mode None None None None None C-Min None C-Min Act Effct Green (s) 42.0 23.0 42.0 23.0 87.5 69.5 76.6 62.1													
Act Effct Green (s) 42.0 23.0 42.0 23.0 87.5 69.5 76.6 62.1													
\sqrt{f}													
	` ,		0.16										

Lanes, Volumes, Timings

1: Harlem Avenue & 171st Street

04/01/2021

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Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
v/c Ratio	1.01	1.26		1.02	0.79		0.91	0.89		0.74	1.02	
Control Delay	96.8	177.3		100.0	66.8		72.3	39.5		52.0	67.4	
Queue Delay	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Total Delay	96.8	177.3		100.0	66.8		72.3	39.5		52.0	67.4	
LOS	F	F		F	Е		Е	D		D	Е	
Approach Delay		153.4			79.3			44.4			66.0	
Approach LOS		F			Е			D			Е	
Queue Length 50th (ft)	~220	~416		~208	212		193	661		84	~817	
Queue Length 95th (ft)	#390	#544		#396	276		#352	#798		160	#957	
Internal Link Dist (ft)		149			709			147			436	
Turn Bay Length (ft)	160			150			160			190		
Base Capacity (vph)	290	552		270	581		316	1750		243	1545	
Starvation Cap Reductn	0	0		0	0		0	0		0	0	
Spillback Cap Reductn	0	0		0	0		0	0		0	0	
Storage Cap Reductn	0	0		0	0		0	0		0	0	
Reduced v/c Ratio	1.01	1.26		1.02	0.79		0.87	0.89		0.64	1.02	

Intersection Summary

Area Type: Other

Cycle Length: 140

Actuated Cycle Length: 140

Offset: 0 (0%), Referenced to phase 2:NBTL and 6:SBTL, Start of Green

Natural Cycle: 110

Control Type: Actuated-Coordinated

Maximum v/c Ratio: 1.26 Intersection Signal Delay: 76.8 Intersection Capacity Utilization 109.5%

Intersection LOS: E
ICU Level of Service H

Analysis Period (min) 15

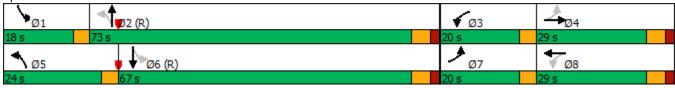
~ Volume exceeds capacity, queue is theoretically infinite.

Queue shown is maximum after two cycles.

95th percentile volume exceeds capacity, queue may be longer.

Queue shown is maximum after two cycles.

Splits and Phases: 1: Harlem Avenue & 171st Street



2: 7-Eleven RIRO Access Drive/USPS Easterly Access Drive & 171st Street

Intersection												
Int Delay, s/veh	1.1											
		EDT	EDD	WDI	WDT	WDD	NDI	NDT	NDD	CDI	CDT	CDD
	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	20	€ 1}	4.4	^	↑ }	7.5	^	0	70	4	- ♣	05
Traffic Vol, veh/h	30	879	41	0	833	75	0	0	76	4	0	25
Future Vol, veh/h	30	879	41	0	833	75	0	0	76	4	0	25
Conflicting Peds, #/hr	0	0	0		0	0	0	0	0	0	0	0
Sign Control RT Channelized	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
		-	None	-	-	None	-	-		-	-	None
Storage Length	- 4	0	-	-	0	-	-	0	0	-	1	-
Veh in Median Storage, #		0	-	-	0	-	-	0		-	0	-
Grade, % Peak Hour Factor	91	91	91	91	91	91	91	91	91	91	91	91
	0	1	0	0	1	2	0	0	0	0	0	0
Heavy Vehicles, % Mvmt Flow	33	966	45	0	915	82	0	0	84	4	0	27
IVIVIIIL FIOW	SS	900	43	U	913	02	U	U	04	4	U	21
	ajor1		1	Major2		1	Minor1		N	Minor2		
Conflicting Flow All	997	0	0	-	-	0	-	-	506	1505	2033	499
Stage 1	-	-	-	-	-	-	-	-	-	956	956	-
Stage 2	-	-	-	-	-	-	-	-	-	549	1077	-
Critical Hdwy	4.1	-	-		-	-	-	-	6.9	7.5	6.5	6.9
Critical Hdwy Stg 1	-	-	-	-	-	-	-	-	-	6.5	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	-	-	-	6.5	5.5	-
Follow-up Hdwy	2.2	-	-	-	-	-	-	-	3.3	3.5	4	3.3
Pot Cap-1 Maneuver	702	-	-	0	-	-	0	0	517	85	58	522
Stage 1	-	-	-	0	-	-	0	0	-	281	339	-
Stage 2	-	-	-	0	-	-	0	0	-	493	298	-
Platoon blocked, %		-	-		-	-						
Mov Cap-1 Maneuver	702	-	-	-	-	-	-	-	517	65	52	522
Mov Cap-2 Maneuver	-	-	-	-	-	-	-	-	-	165	159	-
Stage 1	-	-	-	-	-	-	-	-	-	251	339	-
Stage 2	-	-	-	-	-	-	-	-	-	369	266	-
Approach	EB			WB			NB			SB		
HCM Control Delay, s	0.8			0			13.3			14.7		
HCM LOS	0.0						В			В		
NA: 1 /24 · 24		UDI 4	ED!	- FRT		MOT	MED)DI 4				
Minor Lane/Major Mvmt		VBLn1	EBL	EBT	EBR	WBT	WBR S					
Capacity (veh/h)		517	702	-	-	-	-	402				
HCM Lane V/C Ratio			0.047	-	-	-		0.079				
HCM Control Delay (s)		13.3	10.4	0.5	-	-	-	14.7				
HCM Lane LOS		В	В	Α	-	-	-	В				
HCM 95th %tile Q(veh)		0.6	0.1	-	-	-	-	0.3				

3: First Merchant Bank Access Drive & 171st Street

Intersection						
Int Delay, s/veh	1.2					
	EBT	EDD	\\/DI	\\/DT	NDI	NBR
		EBR	WBL	WBT	NBL	NRK
Lane Configurations	†	0		414	\	^
Traffic Vol, veh/h	950	0	55	803	41	0
Future Vol, veh/h	950	0	55	803	41	0
Conflicting Peds, #/hr	0	0	0	0	0	0
•	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-		-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #		-	-	0	1	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	98	98	98	98	98	98
Heavy Vehicles, %	0	1	0	1	0	0
Mvmt Flow	969	0	56	819	42	0
Major/Minor Ma	ajor1	Λ	/lajor2	N	Minor1	
Conflicting Flow All	0	0	969	0	1491	485
Stage 1	-		303	-	969	405
Stage 2	_	_	_	_	522	-
	-	-	4.1	-	6.8	6.9
Critical Hdwy	-		4.1		5.8	
Critical Hdwy Stg 1	-	-		-		-
Critical Hdwy Stg 2	-	-	-	-	5.8	-
Follow-up Hdwy	-	-	2.2	-	3.5	3.3
Pot Cap-1 Maneuver	-	-	719	-	117	533
Stage 1	-	-	-	-	333	-
Stage 2	-	-	-	-	566	-
Platoon blocked, %	-	-		-		
Mov Cap-1 Maneuver	-	-	719	-	100	533
Mov Cap-2 Maneuver	-	-	-	-	208	-
Stage 1	-	-	-	-	285	-
Stage 2	-	-	-	-	566	-
Approach	EB		WB		NB	
HCM LOS	0		1.3		26.6	
HCM LOS					D	
Minor Lane/Major Mvmt	1	NBLn1	EBT	EBR	WBL	WBT
Capacity (veh/h)		208	_	_	- 40	_
HCM Lane V/C Ratio		0.201	_		0.078	_
HCM Control Delay (s)		26.6	_	_		0.7
HCM Lane LOS		20.0 D	_	<u>-</u>	В	Α
HCM 95th %tile Q(veh)		0.7		<u>-</u>	0.3	-
HOW JOHN JOHNE Q(VEII)		0.7			0.0	

4: Oconto Avenue/USPS Westerly Access Drive & 171st Street

Intersection												
Int Delay, s/veh	1.5											
				MOL	MOT	MOD	NBI	NET	NDD	0.01	0.D.T.	222
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		414		<u>ነ</u>	∱ }			4			4	
Traffic Vol, veh/h	3	886	16	20	820	4	2	0	15	49	3	44
Future Vol, veh/h	3	886	16	20	820	4	2	0	15	49	3	44
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	50	-	-	-	-	-	-	-	-
Veh in Median Storage	,# -	0	-	-	0	-	-	1	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	96	96	96	96	96	96	96	96	96	96	96	96
Heavy Vehicles, %	33	1	0	6	0	0	0	0	0	2	0	0
Mvmt Flow	3	923	17	21	854	4	2	0	16	51	3	46
Major/Minor N	Major1		N	Major2			Minor1		N	/linor2		
Conflicting Flow All	858	0	0	940	0	0	1409	1838	470	1366	1844	429
Stage 1	-	-	-	J -1 U	-	-	938	938	-	898	898	423
Stage 2	_	_	_	_	_	_	471	900	<u>-</u>	468	946	_
Critical Hdwy	4.76			4.22			7.5	6.5	6.9	7.54	6.5	6.9
Critical Hdwy Stg 1	4.70	_		7.22	_	_	6.5	5.5	0.5	6.54	5.5	0.5
Critical Hdwy Stg 2			_	_			6.5	5.5	-	6.54	5.5	_
Follow-up Hdwy	2.53	_		2.26		_	3.5	4	3.3	3.52	4	3.3
Pot Cap-1 Maneuver	609		_	701			100	76	545	106	76	580
Stage 1	- 009			- 101		_	288	346	-	301	361	-
Stage 2			_			-	548	360	_	545	343	
Platoon blocked, %		_				_	U 1 U	500		U 1 U	U T U	
Mov Cap-1 Maneuver	609		_	701		-	88	73	545	100	73	580
Mov Cap-2 Maneuver	- 009			- 101		_	200	191	-	212	186	-
Stage 1			_			_	285	343	_	298	350	
Stage 2				_		_	485	349	_	524	340	_
Olaye Z			_				700	U-T-U		527	J T U	
Approach	EB			WB			NB			SB		
HCM Control Delay, s	0.1			0.2			13.3			23.2		
HCM LOS							В			С		
Minor Lane/Major Mvm	t I	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1			
Capacity (veh/h)		453	609		-	701	-	-	297			
HCM Lane V/C Ratio		0.039	0.005	_	_	0.03	_		0.337			
HCM Control Delay (s)		13.3	10.9	0.1	_	10.3	_	_				
HCM Lane LOS		13.3 B	В	Α	_	10.3 B	_	_	23.2 C			
HCM 95th %tile Q(veh)		0.1	0	- -	-	0.1	-	-	1.4			
HOW JOHN JOHN Q(VEII)		0.1	U	-	_	0.1	_	_	1.4			

5: Harlem Avenue & Tinley Park Commons Access Drive

Intersection								
Int Delay, s/veh	3.4							
Movement	WBL	WBR	NBT	NBR	SBL	SBT		
Lane Configurations	ች	1	↑ ₽		ች	^		
Traffic Vol, veh/h	52	71	1699	92	46	1712		
Future Vol, veh/h	52	71	1699	92	46	1712		
Conflicting Peds, #/hr	0	0	0	0	0	0		
Sign Control	Stop	Stop	Free	Free	Free	Free		
RT Channelized	-	None	-	None	-	None		
Storage Length	0	0	-	-	160	-		
Veh in Median Storage	e, # 1	-	0	-	-	0		
Grade, %	0	-	0	-	-	0		
Peak Hour Factor	92	92	92	92	92	92		
Heavy Vehicles, %	0	0	1	0	0	1		
Mvmt Flow	57	77	1847	100	50	1861		
Major/Minor I	Minor1	N	Major1		Major2			
Conflicting Flow All	2928	974	0	0	1947	0		
Stage 1	1897	-	-	_	-	-		
Stage 2	1031	<u>-</u>	_	_	<u>-</u>	_		
Critical Hdwy	6.8	6.9	_	_	4.1	_		
Critical Hdwy Stg 1	5.8	0.5	_	_	7.1	_		
Critical Hdwy Stg 2	5.8	_	_	_	_	_		
Follow-up Hdwy	3.5	3.3	_	_	2.2	_		
Pot Cap-1 Maneuver	~ 12	255	_	_	305	_		
Stage 1	106	200	_	_	-	_		
Stage 2	309	_	_	_	_	_		
Platoon blocked, %	303		_	_		_		
Mov Cap-1 Maneuver	~ 10	255	_	_	305	_		
Mov Cap-1 Maneuver	64	200	_	_	-	_		
Stage 1	89	_	_	_	_			
Stage 2	309	_	_	_	_	_		
Stage 2	303	-	-	-	-	-		
	\4/D		ND		0.0			
Approach	WB		NB		SB			
HCM Control Delay, s	93.5		0		0.5			
HCM LOS	F							
Minor Lane/Major Mvm	nt	NBT	NBRV	VBLn1V		SBL	SBT	
Capacity (veh/h)		-	-	64	255	305	-	
HCM Lane V/C Ratio		-	-		0.303		-	
HCM Control Delay (s)		-	-		25.1	19.1	-	
HCM Lane LOS		-	-	F	D	С	-	
HCM 95th %tile Q(veh))	-	-	4.2	1.2	0.6	-	
Notes								
~: Volume exceeds cap	pacity	\$: De	elav exc	eeds 3	00s	+: Com	putation Not Defined	*: All major volume in platoon
	o a.o.t.j	Ų. <u> </u>	nay one					The major rotation in places.

6: Harlem Avenue & DuPage Medical Group

Intersection						
Int Delay, s/veh	0					
		ED.5	ND	NOT	057	000
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	¥			41	∱ ⊅	
Traffic Vol, veh/h	0	3	0	1791	1762	2
Future Vol, veh/h	0	3	0	1791	1762	2
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage	e, # 1	-	-	0	0	-
Grade, %	0	_	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	0	0	0	1	1	0
Mymt Flow	0	3	0	1947	1915	2
IVIVIIIL I IOW	U	J	U	1341	1313	
Major/Minor	Minor2	N	Major1	N	Major2	
Conflicting Flow All	2890	959	1917	0	-	0
Stage 1	1916	_	-	_	-	-
Stage 2	974	_	_	_	_	_
Critical Hdwy	6.8	6.9	4.1	_	_	_
Critical Hdwy Stg 1	5.8	0.5	7.1			_
Critical Hdwy Stg 2	5.8		-	-	_	-
	3.5	3.3	2.2	_	_	
Follow-up Hdwy				-	-	-
Pot Cap-1 Maneuver	13	261	313	-	-	-
Stage 1	104	-	-	-	-	-
Stage 2	331	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	13	261	313	-	-	-
Mov Cap-2 Maneuver	76	-	-	-	-	-
Stage 1	104	-	-	-	-	-
Stage 2	331	-	-	-	-	-
J G .						
Approach	EB		NB		SB	
HCM Control Delay, s	19		0		0	
HCM LOS	С					
Minor Lane/Major Mvm	nt .	NBL	NDT	EBLn1	SBT	SBR
	π					
Capacity (veh/h)		313	-	201	-	-
HCM Lane V/C Ratio		-	-	V.V	-	-
HCM Control Delay (s)		0	-	19	-	-
HCM Lane LOS		Α	-	С	-	-
HCM 95th %tile Q(veh)	0	-	0	-	-

7: Harlem Avenue & 7-Eleven RIRO Access Drive

Intersection						
Int Delay, s/veh	0.3					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations		7		^	∱ }	
Traffic Vol, veh/h	0	47	0	1770	1728	49
Future Vol, veh/h	0	47	0	1770	1728	49
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	-	0	-	-	-	-
Veh in Median Storage		-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	0	0	0	1	1	0
Mvmt Flow	0	49	0	1863	1819	52
Major/Minor N	Minor2	N	/lajor1	N	/lajor2	
		936		0		^
Conflicting Flow All	-	930	-		-	0
Stage 1	-	-	-	-	-	-
Stage 2	-	-	-	-	-	-
Critical Hdwy	-	6.9	-	-	-	-
Critical Hdwy Stg 1	-	-	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-	-	-
Follow-up Hdwy	-	3.3	-	-	-	-
Pot Cap-1 Maneuver	0	270	0	-	-	-
Stage 1	0	-	0	-	-	-
Stage 2	0	-	0	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	-	270	-	-	-	-
Mov Cap-2 Maneuver	-	-	-	-	-	-
Stage 1	-	-	-	-	-	-
Stage 2	-	-	-	-	-	-
Approach	EB		NB		SB	
					0	
HCM LOS	21.3		0		U	
HCM LOS	С					
Minor Lane/Major Mvm	t	NBT E	EBLn1	SBT	SBR	
Capacity (veh/h)		-		-	-	
HCM Lane V/C Ratio			0.183	_	_	
HCM Control Delay (s)		_		_	_	
HCM Lane LOS		_	C	_	_	
HCM 95th %tile Q(veh)		_	0.7	_	_	

8: Harlem Avenue & Site Access Drive

Intersection						
Int Delay, s/veh	0.2					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
	LDL		INDL			SBR
Lane Configurations	٥	70	٥	^	↑ ↑	17
Traffic Vol, veh/h	0	30	0	1770	1728	47
Future Vol, veh/h	0	30	0	1770	1728	47
Conflicting Peds, #/hr	0	0	0	0	0	_ 0
	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	-	0	-	-	-	-
Veh in Median Storage,		-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	0	0	0	1	1	0
Mvmt Flow	0	32	0	1863	1819	49
Major/Minor A	ina-2		lais=1		/oic=0	
	inor2		//ajor1		/lajor2	
Conflicting Flow All	-	934	-	0	-	0
Stage 1	-	-	-	-	-	-
Stage 2	-	-	-	-	-	-
Critical Hdwy	-	6.9	-	-	-	-
Critical Hdwy Stg 1	-	-	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-	-	-
Follow-up Hdwy	-	3.3	-	-	-	-
Pot Cap-1 Maneuver	0	271	0	-	-	-
Stage 1	0	-	0	-	-	-
Stage 2	0	_	0	-	-	-
Platoon blocked, %				_	_	-
Mov Cap-1 Maneuver	_	271	_	_	_	_
Mov Cap-2 Maneuver	_	-	_	_	_	_
Stage 1	_	_	_		_	
Stage 2	_	_	_	-	_	
Slaye Z	_	-	-	<u>-</u>	_	-
Approach	EB		NB		SB	
HCM Control Delay, s	20		0		0	
HCM LOS	С					
Minor Long/Maior M		NDT	-DL 4	CDT	CDD	
Minor Lane/Major Mvmt		NBT E		SBT	SBR	
Capacity (veh/h)		-	271	-	-	
HCM Lane V/C Ratio		-	0.117	-	-	
HCM Control Delay (s)		-	20	-	-	
HCM Lane LOS		-	С	-	-	
HCM 95th %tile Q(veh)		-	0.4	-	-	

Table A

Table A DRIVE THROUGH QUEUEING SURVEY – TUESDAY, MARCH 7, 2017

Weekday Morning				Weekday Evening		
Time	Total Queue	Time	Total Queue	Time	Total Queue	
6:00 AM	2	11:30 AM	1	4:00 PM	0	
6:05 AM	3	11:35 AM	5	4:05 PM	4	
6:10 AM	1	11:40 AM	3	4:10 PM	3	
6:15 AM	3	11:45 AM	5	4:15 PM	2	
6:20 AM	3	11:50 AM	6	4:20 PM	2	
6:25 AM	3	11:55 AM	5	4:25 PM	1	
6:30 AM	3	12:00 PM	5	4:30 PM	1	
6:35 AM	2	12:05 PM	2	4:35 PM	2	
6:40 AM	3	12:10 PM	2	4:40 PM	2	
6:45 AM	2	12:15 PM	1	4:45 PM	1	
6:50 AM	3	12:20 PM	2	4:50 PM	1	
6:55 AM	6	12:25 PM	3	4:55 PM	1	
7:00 AM	7	12:30 PM	3	5:00 PM	1	
7:05 AM	7	12:35 PM	2	5:05 PM	0	
7:10 AM	6	12:40 PM	0	5:10 PM	1	
7:15 AM	9	12:45 PM	2	5:15 PM	2	
7:20 AM	7	12:50 PM	2	5:20 PM	1	
7:25 AM	8	12:55 PM	2	5:25 PM	1	
7:30 AM	7	1:00 PM	3	5:30 PM	2	
7:35 AM	11	1:05 PM	1	5:35 PM	2	
7:40 AM	6	1:10 PM	1	5:40 PM	2	
7:45 AM	7	1:15 PM	3	5:45 PM	2	
7:50 AM	10	1:20 PM	4	5:50 PM	0	
7:55 AM	9	1:25 PM	1	5:55 PM	1	
8:00 AM	11	1:30 PM	1	6:00 PM	0	
8:05 AM	9					
8:10 AM	9					
8:15 AM	5					
8:20 AM	5					
8:25 AM	7					
8:30 AM	6					
8:35 AM	5					
8:40 AM	3					
8:45 AM	5					
8:50 AM	7					
8:55 AM	6					
9:00 AM	4					
Average	6		3		1	
Maximum	11		6		4	

THE VILLAGE OF TINLEY PARK

Cook County, Illinois Will County, Illinois

RESOLUTION NO.

A RESOLUTION APPROVING AND ACCEPTING A FINAL PLAT OF SUBDIVISION FOR SOUTHLANDS SECOND CONSOLIDATION (17120-17126 HARLEM AVENUE)

> MICHAEL W. GLOTZ, PRESIDENT KRISTIN A. THIRION, VILLAGE CLERK

> > WILLIAM P. BRADY
> > WILLIAM A. BRENNAN
> > DIANE M. GALANTE
> > DENNIS P. MAHONEY
> > MICHAEL G. MUELLER
> > COLLEEN M. SULLIVAN
> > Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois Will County, Illinois

RESOLUTION NO.

A RESOLUTION APPROVING AND ACCEPTING A FINAL PLAT OF SUBDIVISION FOR SOUTHLANDS SECOND CONSOLIDATION (17120-17126 HARLEM AVENUE)

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the Village of Tinley Park ("Village") has considered the Plat of Subdivision for Southlands Second Consolidation (Plat") pertaining to certain real property located at 17120-17126 Harlem Avenue, Tinley Park, Illinois 60477 ("Subject Property"), a true and correct copy of which is attached hereto and made a part hereof as **Exhibit A**; and

WHEREAS, said Plat, was referred to the Plan Commission of the Village and has been processed in accordance with the Village of Tinley Park Zoning Ordinance; and

WHEREAS, the Plan Commission reviewed the proposed Plat on May 20 & 27, 2021, at public meetings at which time all persons were afforded an opportunity to be heard; and

WHEREAS, the Plan Commission voted x-x in favor to recommend that said Plat be approved; and

WHEREAS, the Plan Commission of this Village has filed its report of findings and recommendations that the proposed Plat be approved by this President and Board of Trustees, and this Board of Trustees has duly considered said report of findings and recommendations; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Plat; and

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: That the report and findings and recommendations of the Plan Commission of this Village are herein incorporated by reference as the findings of this Board of Trustees, as completely, as if fully recited herein at length.

SECTION 2: That the President and Board of Trustees of the Village of Tinley Park, hereby approve and accept said Plat, attached hereto as **Exhibit A**, and all necessary Village Officials and staff are hereby authorized to execute said Plat prior to final recording, subject to review and revision as to form by the Village Attorney and Village staff.

SECTION 3: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Resolution shall be and is hereby repealed to the extent of such conflict.

SECTION 4: That this Resolution shall be in full force and effect from and after its adoption and approval.

SECTION 5: That the Village Clerk is hereby ordered and directed to publish this Resolution in pamphlet form, and this Resolution shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 1ST day of June, 2021.

•	
AYES:	
NAYS:	
ABSENT:	
APPROVED THIS 1ST day of June, 2021.	
	VILLAGE PRESIDENT
ATTEST:	
VILLAGE CLERK	

STATE OF ILLINOIS)	
COUNTY OF COOK)	SS
COUNTY OF WILL	j	

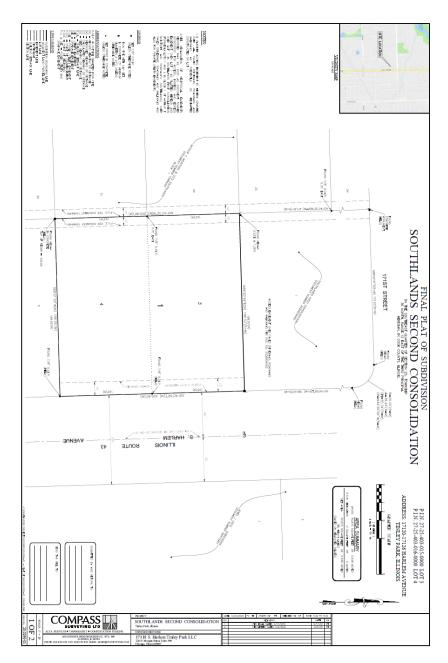
CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. _____, "A RESOLUTION APPROVING AND ACCEPTING A FINAL PLAT OF SUBDIVISION FOR SOUTHLANDS SECOND CONSOLIDATION (17120-17126 HARLEM AVENUE)" which was adopted by the President and Board of Trustees of the Village of Tinley Park on June 01, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1ST day of June, 2021.

KRISTIN A. THIRION, VILLAGE CLERK

Exhibit A



FINAL PLAT OF SUBDIVISION SOUTHLANDS SECOND CONSOLIDATION

IN THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

OWNER'S CERTIFICATE
STATE OF)
COUNTY OF)
THIS IS TO CERTIFY THAT 17118 S. HARLEM TINLEY PARK LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, IS THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN HEREON AND AS SUCH OWNER, HAS CAUSED THE PROPERTY TO BE SURVEYED AND SUBDIVIDED AS SHOWN HEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH AND AS ALLOWED AND PROVIDED BY STATUTES, AND HEREBY GRANTS THE EASEMENTS SHOWN HEREON IN ACCORDANCE WITH THE PROVISIONS PROVIDED ON THIS PLAT, AND SAID LIMITED LIABILITY COMPANY DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE AFORESAID.
ALSO, THIS IS TO CERTIFY THAT THE PROPERTY BEING SUBDIVIDED AFORESAID AND, TO THE BEST OF OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF SCHOOL DISTRICT
DATED AT,, THIS DAY OF, A.D., 20
OWNER NAME: ADDRESS:
BY: SIGNATURE
TITLE:PRINT TITLE
NOTARY'S CERTIFICATE
STATE OF)
STATE OF)
I,, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY IN THE STATI
AFORESAID, DO HEREBY CERTIFY THAT(PRINT NAME)(TITLE) OF SAID LIMITED LIABILITY COMPANY, WHO ARE PERSONALLY KNOWN TO MI TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCI
, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID LIMITED LIABILITY COMPANY, FOR THE USES AND PURPOSES THEREIN SET FORTH.
GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS DAY OF A.D., 20
NOTARY PUBLIC SIGNATURE
(PRINT NAME)
<u>VILLAGE ENGINEER</u>
STATE OF ILLINOIS))SS COUNTY OF COOK)
APPROVED BY THE VILLAGE ENGINEER OF THE VILLAGE OF TINLEY PARK, COOK COUNTY, ILLINOIS.
DATED THIS DAY OF, 20
5/(125 11116 <u></u> 5/(1 6) <u></u> , 26
VILLAGE ENGINEER
VILLACE ENGINEER
DRAINAGE CERTIFICATE
THE UNDERSIGNED HEREBY CERTIFIES THAT, TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF
SURFACE WATERS WILL NOT BE CHANGED BY THIS CONSOLIDATION OR THAT, IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION WILL BE MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS THAT THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE
WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO ELIMINATE THE LIKELIHOOD OF DAMAGE TO ADJOINING PROPERTY OWNERS BECAUSE OF THIS CONSOLIDATION. THE
EXISTING OVERLAND FLOW ROUTES WILL CONFORM TO THE ORIGINAL SUBDIVISION GRADING PLAN AND ACCEPTED ENGINEERING DESIGN. SHOULD ANY PONDING OCCUR ON—SITE, IT WILL BE OUR RESPONSIBILITY TO ADDRESS AS PER ALL REQUIREMENTS OF THE VILLAGE'S CODES, ORDINANCES AND REGULATIONS RELATED TO STORMWATER
MANAGEMENT, SOIL EROSION CONTROL AND SITE GRADING.
DATED THIS DAY OF, 20
OWNER
ENGINEER

)	
) SS	
)	
K, ILLINOIS ON THE DAY OF	20
OMMISSION	
)	
) SS)	
/ED BY THE PLAN COMMISSION	
Y OF, A.D. 20	. ·
OF TRUSTEES	
OF TRUSTEES)) SS	
)) SS)	
) SS) TED BY THE BOARD OF TRUSTEES	
) SS) TED BY THE BOARD OF TRUSTEES	·
) SS) SS) TED BY THE BOARD OF TRUSTEES Y OF, A.D. 20	
) SS) SS) TED BY THE BOARD OF TRUSTEES Y OF, A.D. 20	
	COMMISSION)

PUBLIC UTILITY EASEMENT PROVISIONS

A PUBLIC UTILITY EASEMENT (P.U.E.) IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF TINLEY PARK ("VILLAGE"), A MUNICIPAL CORPORATION OF THE STATE OF ILLINOIS, ITS SUCCESSORS AND ASSIGNS, JOINTLY AND SEVERALLY, THE FULL AND FREE RIGHT AND AUTHORITY, BUT NOT THE DUTY TO INSTALL, OPERATE, INSPECT, REPAIR AND MAINTAIN WATERMAIN AND RELATED APPURTENANCES AND FACILITIES AS MAY BE NECESSARY IN OR UPON, THROUGH, ACROSS AND UNDER LOT 1 AS DESIGNATED ON THE PLAT WITH DASHED LINES MARKED "PUBLIC UTILITY EASEMENT" (P.U.E.). OBSTRUCTIONS WILL NOT BE PLACED OVER GRANTEES FACILITIES WITHOUT WRITTEN CONSENT OF GRANTEE, BUT LANDSCAPING, PARKING LOTS AND SIDEWALKS MAY BE PLACED OVER ANY VILLAGE FACILITIES THAT DO NOT UNREASONABLY INTERFERE WITH THE SAFETY, USEFULNESS OF, UNREASONABLE RESTRICT TO, OR PREVENT THE PROMPT MAINTENANCE OR REPAIR OF ANY SUCH SUBSURFACE FACILITIES.

ACCESS EASEMENT PROVISIONS

AN ACCESS EASEMENT IS RESERVED FOR AND GRANTED TO THE OWNER OF LOT 1 IN SOUTHLANDS FIRST CONSOLIDATION AND THE OWNER OF LOT 24 IN BLOCK 1 ARTHUR T. MCINTOSH & COMPANY'S SOUTHLANDS SUBDIVISION, THEIR HEIRS, SUCCESSORS, ASSIGNS AND VISITORS OVER ALL PAVED DRIVEWAYS, ROADWAYS AND WALKWAYS AS PRESENTLY OR HEREAFTER CONSTRUCTED ON LOT 1 PLATTED HEREON, SO AS TO PROVIDE FOR THE PASSAGE OF MOTOR VEHICLES AND PEDESTRIANS TO AND FROM ALL ABUTTING STREETS OR RIGHTS OF WAY.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
(COUNTY OF KANE)

I, DANIEL W. WALTER, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3585, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING PROPERTY:

LOTS 3 AND 4 IN BLOCK 1 IN ARTHUR T. MCINTOSH AND COMPANY'S SOUTHLANDS IN THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 36 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

AS SHOWN BY THE ATTACHED PLAT WHICH IS A REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. THIS SUBDIVISION IS WITHIN THE VILLAGE OF TINLEY PARK WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12-6 AS HERETOFORE AND HEREAFTER AMENDED, AND THIS SITE FALLS WITHIN "OTHER AREAS: ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEFINED BY THE FLOOD INSURANCE RATE MAP, MAP NUMBER 17031C0708J, HAVING A REVISED DATE OF AUGUST 19, 2008.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS THIS_____ DAY OF _____, 20____.

COMPASS SURVEYING LTD
PROFESSIONAL DESIGN FIRM
LAND SURVEYOR CORPORATION NO. 184-002778
LICENSE EXPIRES 4/30/2023

SURVEYOR'S AUTHORIZATION TO RECORD

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I HEREBY DESIGNATE THE VILLAGE OF TINLEY PARK, AND/OR REPRESENTATIVES THEREOF, TO RECORD THIS PLAT, A TRUE COPY OF WHICH HAS BEEN RETAINED BY ME TO ASSURE NO CHANGES HAVE BEEN MADE TO SAID PLAT.

DATED THIS _____DAY OF______, 20____, AT AURORA, KANE COUNTY, ILLINOIS.

COMPASS SURVEYING LTD
PROFESSIONAL DESIGN FIRM
LAND SURVEYOR CORPORATION NO. 184-002778
LICENSE EXPIRES 4/30/2023

	DATI	DATE: 12/2/2020 PC TK DRAWN BY BT	אר סאי	AWN BY	ВТ	снескер ву рм	BOOK	BOOK N/A PG N/	
ECOND CONSOLIDATION	NO.			REVISIONS				DATE	
	1.		PER EMA	PER EMAIL DATED 2/17/2021	2/17/2	:021		2/11/21	
	2.		PER LET	PER LETTER DATED 4/9/2021	4/9/2	2021		4/21/21	
Tinlow Doult I C									
IIIIEY FAIK LLC									
300									

SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING
2631 GINGER WOODS PARKWAY, STE. 100
AURORA, IL 60502
630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

2 OF 2

SCALE: NONE



Date: May 24, 2022

To: John Urbanski, Public Works Director

From: Joe Fitzpatrick, Water & Sewer Superintendent

Subject: Smoke/Dye Testing and Manhole Inspections under

2018-RFP-005 Renewal - Year 3 of 3

Presented for Committee of the Whole and Village Board meetings for consideration and possible action.

<u>Description:</u> This project consists of smoke testing sanitary sewers in the areas of the Village considered to be high risk for inflow and infiltration of ground water. Smoke testing helps to identify defects in the sanitary sewers that can allow ground water to infiltrate the sanitary system.

<u>Background</u>: The desired work was spelled out in an RFP to seek qualified contractor proposals to perform the testing and inspection of the sanitary sewer system in the areas labeled as high risk for inflow and infiltration. The RFP proposed that the awarded contract would be written for one (1) year, with an option to extend for two (2) years. This will be the third (3rd) and final year of the contract

This year's project area will include smoke testing approximately 96,000 linear feet of sanitary sewers. Over 400 sanitary sewer manholes will be inspected as well.

Dyed-Water Flooding and Televising may be required on designated storm lines setups where smoke testing identified that a direct or indirect cross connection exists. Any of this work will require coordination with Village staff prior to being undertaken.

<u>Contractor</u>: <u>Location</u>: <u>Proposal</u>: Sewer Assessment Services Schaumburg, IL \$75,321.56

<u>Staff Direction Request</u>: Approve the contract renewal to Sewer Assessment Services, LLC for sanitary sewer investigations in the amount of \$75,321.56.

Attachments:

- 1) Engineer's Letter of Recommendation
- 2) Contractor Letter of Continuation
- 3) Project location map



Cook County, Illinois Will County, Illinois

RESOLUTION NO. 2021-R-045

A RESOLUTION APPROVING A CONTRACT BETWEEN THE VILLAGE OF TINLEY PARK AND SEWER ASSESSMENT SERVICES FOR SMOKE/DYE TESTING AND MANHOLE INSPECTIONS

MICHAEL W. GLOTZ, PRESIDENT KRISTIN A. THIRION, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park

RESOLUTION NO. 2021-R-045

APPROVING A CONTRACT BETWEEN THE VILLAGE OF TINLEY PARK AND SEWER ASSESSMENT SERVICES FOR SMOKE/DYE TESTING AND MANHOLE INSPECTIONS

WHEREAS, the Village of Tinley Park, Cook and Will Counties, Illinois, is a Home Rule Unit pursuant to the Illinois Constitution of 1970; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have considered entering into a Contract with Sewer Assessment Services, a true and correct copy of such Contract being attached hereto and made a part hereof as **EXHIBIT 1**; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interests of said Village of Tinley Park that said Contract be entered into by the Village of Tinley Park;

NOW, THEREFORE, Be It Resolved by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, as follows:

Section 1: The Preambles hereto are hereby made a part of, and operative provisions of, this Resolution as fully as if completely repeated at length herein.

Section 2: That this President and Board of Trustees of the Village of Tinley Park hereby find that it is in the best interests of the Village of Tinley Park and its residents that the aforesaid "Contract" be entered into and executed by said Village of Tinley Park, with said Contract Extension to be substantially in the form attached hereto and made a part hereof as **EXHIBIT 1**, subject to review and revision as to form by the Village Attorney.

Section 3: That the President and Clerk of the Village of Tinley Park, Cook and Will Counties, Illinois are hereby authorized to execute for and on behalf of said Village of Tinley Park the aforesaid Contract.

Section 4: That this Resolution shall take effect from and after its adoption and approval.

ADOPTED this 1st day of June, 2021, by the Corporate Authorities of the Village of Tinley Park on a roll call vote as follows:

AYES:	
NAYS:	
ABSENT:	
APPROVED this 1st day of June, 2021, by the	ne President of the Village of Tinley Park.
ATTEST:	Village President

Village Clerk

EXHIBIT 1

STATE OF ILLINOIS)	
COUNTY OF COOK)	SS
COUNTY OF WILL)	

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2021-R-045, "APPROVING A CONTRACT BETWEEN THE VILLAGE OF TINLEY PARK AND SEWER ASSESSMENT SERVICES FOR SMOKE/DYE TESTING AND MANHOLE INSPECTIONS," which was adopted by the President and Board of Trustees of the Village of Tinley Park on June 1, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of June, 2021.

KRISTIN A. THIRION, VILLAGE CLERK



Date: May 24, 2021

To: David Niemeyer, Village Manager

Pat Carr, Assistant Village Manager

From: Terry Lusby, Jr., Facilities & Fleet Superintendent

Subject: Approve Public Works Fleet Vehicle Purchase List

Presented at the Committee of the Whole and Village Board meetings for consideration and possible action:

<u>Description:</u> Approve the Public Works Fleet Vehicle Purchase List that includes various vehicles with a purchase amount exceeding \$20,000 for each vehicle.

<u>Background</u>: Requesting purchase approval for the following vehicles that were previously pre-approved via FY 2022 budget:

<u>Vehicle</u>	Estimated Cost	Quantity
Wheel Loader	\$171,000	1
Snow Plow Truck	\$196,000	3
10 Wheeled Dump Truck	\$162,980	1
10 Wheeled Dump Truck	\$181,300	1
Dump Truck	\$86,300	1
Police Interceptor	\$50,500	4
Police Interceptor	\$51,500	4
Police Interceptor	\$60,000	1
Aerial Truck	\$120,000	1
Safety Attenuater Trailer	\$35,000	1
Trailer	<u>\$7,000</u>	1
TOTAL	\$1,819,580	

All vehicles will be purchased through our standing cooperative purchasing agreements (Suburban Purchase Cooperative, Southwest Conference, Northwest Conference, National Joint Powers Alliance, General Services Administration, Houston-Galveston Council, and Illinois Procurement Bulletin). Note, this request is separate from the proposed/reqested lease agreement vehicles for the FY2022 budget.

<u>Budget / Finance</u>: Funding is budgeted and available in the approved FY2022 Budget; Capital Fund.

Budget Available	\$1,850,580
Contract Amount (Approximate)	\$1,819,580
Difference – UNDER BUDGET (Approximate)	\$31,000

Staff Direction Request:

- 1. Approve the Public Works Fleet Vehicle Purchase List in the amount of \$1,819,580 (Approximate).
- 2. Direct staff as necessary.



Cook County, Illinois Will County, Illinois

RESOLUTION NO. 2021-R-046

A RESOLUTION APPROVING THE PUBLIC WORKS FLEET VEHICLE PURCHASE LIST

MICHAEL W. GLOTZ, PRESIDENT KRISTIN A. THIRION, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park

RESOLUTION NO. 2021-R-046

A RESOLUTION APPROVING THE PUBLIC WORKS FLEET VEHICLE PURCHASE LIST

WHEREAS, the Village of Tinley Park, Cook and Will Counties, Illinois, is a Home Rule Unit pursuant to the Illinois Constitution of 1970; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have considered the Fleet Vehicle Purchase which includes various vehicles with a purchase amount exceeding \$20,000 for each vehicle, a true and correct copy of such quotes being attached hereto and made a part hereof as **EXHIBIT 1**; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interests of said Village of Tinley Park that said Quotes be entered into by the Village of Tinley Park;

NOW, THEREFORE, Be It Resolved by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, as follows:

The Preambles hereto are hereby made a part of, and operative provisions of, this **Section 1:** Resolution as fully as if completely repeated at length herein.

Section 2: That this President and Board of Trustees of the Village of Tinley Park hereby find that it is in the best interests of the Village of Tinley Park and its residents that the aforesaid "Quotes" be entered into and executed by said Village of Tinley Park, with said to be substantially in the form attached hereto and made a part hereof as **EXHIBIT 1**, subject to review and revision as to form by the Village Attorney.

That the President and Clerk of the Village of Tinley Park, Cook and Will Counties, **Section 3:** Illinois are hereby authorized to execute for and on behalf of said Village of Tinley Park the aforesaid Quotes.

That this Resolution shall take effect from and after its adoption and approval. **Section 4:**

a

ADOPTED this 1 st day of Ju	ne, 2021, by the Corporate Authorities of the Village of Tinley Park on
a roll call vote as follows:	
AYES:	
NAYS:	
ABSENT:	
APPROVED this 1st day of 3	June, 2021, by the President of the Village of Tinley Park.
ATTEST:	Village President
Village Clerk	

EXHIBIT 1

STATE OF ILLINOIS)	
COUNTY OF COOK)	SS
COUNTY OF WILL)	

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2021-R-046, "A RESOLUTION APPROVING THE PUBLIC WORKS FLEET VEHICLE PURCHASE LIST," which was adopted by the President and Board of Trustees of the Village of Tinley Park on June 1, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of June, 2021.

KRISTIN A. THIRION, VILLAGE CLERK



Date: May 25, 2021

To: David Niemeyer, Village Manager

Pat Carr, Assistant Village Manager

From: Terry Lusby, Jr., Facilities & Fleet Superintendent

Subject: Approve Public Works Fleet Vehicle/Equipment List For Disposal

Presented at the Committee of the Whole and Village Board meetings for consideration and possible action:

<u>Description:</u> Approve the Public Works Fleet Vehicle/Equipment List For Disposal which includes various items valued over \$1,000.

<u>Background</u>: When the Village replaces vehicles or equipment, staff declares outdated and unused vehicles or equipment as surplus to be sold or disposed of. Staff is requesting authorization to dispose the following Village owned vehicles/equipment:

Vehicles/Equipment

2004 Ford Explorer 1970 Miller Welder

2000 Ford Crown Vic 1982 Evens Jr. Tilt Trailer

2001 Ford Crown Vic 1999 Ford New Holland TS90 tractor

1998 Ford Lt8513 6 wheel Dump 2012 Grasshopper Model 725DT6 w/ 52" deck (Qty. 2)

2003 International 6-wheel Dump Truck 2001 International Model 4900, 5 yard Dump

2008 Ford F550 Dump Truck w/ 9' Bed 2006 Ford F350 4X2 Aerial Truck

2008 Ford F250 Pickup 4X4 2006 International Model 7400, 5 yd. Dump (Qty. 2) 2009 Ford E350 Van 2006 Caterpillar Model 928G Wheel Loader (Qty. 2)

2011 Ford F250 Pick-up Truck 2007 Ford F150 Extended Cab Pickup

2006 Ford Explorer (Qty. 2) 2014 Ford Taurus (Qty. 2)

2007 Ford E350 Van 2014 Ford Explorer

The Village uses multiple methods to achieve the highest amount of compensation for its surplus vehicles or equipment. Most items will be sold through Public Auctions or through salvage and recycling companies.

Staff Direction Request:

- 1. Approve the Public Works Fleet Vehicle/Equipment List For Disposal.
- 2. Direct staff as necessary.



Cook County, Illinois Will County, Illinois

ORDINANCE NO. 2021-O-026

AN ORDINANCE AUTHORIZING THE DISPOSAL OF SURPLUS PERSONAL PROPERTY OWNED BY THE VILLAGE OF TINLEY PARK

MICHAEL W. GLOTZ, PRESIDENT KRISTIN A. THIRION, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

VILLAGE OF TINLEY PARK Cook County, Illinois Will County, Illinois

ORDINANCE NUMBER NO. 2021-O-026

ORDINANCE AUTHORIZING THE DISPOSAL OF SURPLUS PERSONAL PROPERTY OWNED BY THE VILLAGE OF TINLEY PARK

WHEREAS, pursuant to Section 11-76-4 of the Illinois Municipal Code (65 ILCS 5/11-76-4), the Corporate Authorities of the Village of Tinley Park may dispose of personal property owned by the Village when, in the opinion of a simple majority of the Corporate Authorities, such property is no longer necessary or useful to, or for the best interests of, the Village; and

WHEREAS, the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, deem it no longer necessary, useful or in the best interests of the Village to retain the surplus personal property in Exhibit A attached.

NOW, THEREFORE, BE IT ORDAINED, by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, as follows:

<u>Section 1:</u> That the personal property listed on <u>Exhibit one (1)</u> is declared to be surplus personal property because it is no longer useful to the Village.

<u>Section 2:</u> That the Village Manager, or his designee, is authorized to dispose of the surplus personal property of the Village in any manner he sees fit.

Section 3: That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form and this Ordinance shall be in full force and effect from and after its passage, approval and publication as required by law.

PASSED this 1st day of June, 2021, by the Corporate Authorities of the Village of Tinley Park on a roll call vote as follows:

I inley Park on a roll call vote as follows:		
AYES:		
NAYS:		
ABSENT:		
APPROVED this 1st day of June, 2021, by	y the President	of the Village of Tinley Park.
	_	
	Ву:	
		Village President
ATTEST:		
By:		
Village Clerk		

STATE OF ILLINOIS)	
COUNTY OF COOK)	SS
COUNTY OF WILL	j	

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2021-O-026, "AN ORDINANCE AUTHORIZING THE DISPOSAL OF SURPLUS PERSONAL PROPERTY OWNED BY THE VILLAGE OF TINLEY PARK," which was adopted by the President and Board of Trustees of the Village of Tinley Park on June 1, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of June, 2021.

VILLAGE CLERK	

EXHIBIT 1 SURPLUS EQUIPMENT LIST

Vehicle Number	Year	Manufacturer	Vehicle / Equipment Description	VIN#
676	2004	Ford	Explorer -	1FMZU72K33UC16212
677	2000	Ford	Crown Vic	2FAFP71WOYX175806
678	2001	Ford	Crown Vic	2FAFP71WX1X192862
26Z	1998	Ford	Lt8513 6 wheel Dump	1FDYS86F9WVA16826
27	2003	International	6-wheel Dump Truck 7400 SFA 6x4	1HTWHAAR53J057866
4	2008	Ford	F550 Dump Truck w/ 9' Bed	1FDAX56Y58EC06614
41Z	2008	Ford	F250 Pickup 4X4	1FTSX21548EC04048
83	2009	Ford	E350 Van	1FTSE34L39DA82666
2	2011	Ford	F250 Pick-up Truck	1FT7X2A60BED10289
63	2006	Ford	Explorer	1FMEU73E26ZA16923
34Z	2007	Ford	E350 Van	1FTSE34LX7DB45758
108	1970	Miller	Welder,	#523217 Sk #900955
135	1982	Evens Jr.	Tilt Trailer	#82227
133	1999	Ford	New Holland TS90 tractor	#16248, SN108386B
128	2012	Grasshopper	Model 725DT6 w/ 52" deck	6216883
130	2012	Grasshopper	Model 725DT6 w/ 52" deck	6216882
8	2001	International	Model 4900, 5 yard Dump	1HTSDAAR61H354627
81	2006	Ford	F350 4X2 Aerial Truck	1FDWF36Y56ED11597
44	2006	International	Model 7400, 5 yd. Dump	1HTWDAAR86J238900
46	2006	International	Model 7400, 5 yd. Dump	1HTWDAARX6J238901
138	2006	Caterpillar	Model 928G Wheel Loader	DJD2560
118	2009	Caterpillar	928HZ Wheel Loader	CXK00629
719	2006	Ford	Explorer	1FMEU72E36UB69891
21	2007	Ford	F150 Extended Cab Pickup	1FTRX12W37KD24889
5M	2014	Ford	Taurus	1FAHP2D82EG107162
2D	2014	Ford	Taurus	1FAHP2D80EG107161
11A	2014	Ford	Explorer	1FM5K8AR5EGA50060

Cook County, Illinois Will County, Illinois

ORDINANCE NO.2021-O-023

AN ORDINANCE APPROVING THE ANNEXATION OF A PARCEL OF PROPERTY COMMONLY LOCATED AT 6864 179TH STREET TO THE VILLAGE OF TINLEY PARK

MICHAEL W. GLOTZ, PRESIDENT KRISTIN A. THIRION, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park

Cook County, Illinois Will County, Illinois

ORDINANCE NO. 2021-O-023

AN ORDINANCE APPROVING THE ANNEXATION OF A PARCEL OF PROPERTY COMMONLY LOCATED AT 6864 179TH STREET TO THE VILLAGE OF TINLEY PARK

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, pursuant to Section 7-1-1 of the Illinois Municipal Code (65 ILCS 5/7-1-1), the Village of Tinley Park ("Village") is authorized to annex any territory that is not within its corporate limits but is contiguous to the Village; and

WHEREAS, a petition has been filed with the Village Clerk and presented in proper form to the President and Board of Trustees of the Village of Tinley Park requesting that a territory, described herein, be annexed to the Village of Tinley Park, Cook and Will Counties; and

WHEREAS, the aforesaid petition is in proper form under oath, signed by all owners of record of all the land within the territory and also by all the electors within or on said territory; and

WHEREAS, said territory is contiguous to the corporate limits of the Village; and

WHEREAS, legal notices regarding the intention of the Village to annex said territory have been sent to all public bodies required to receive such notice by the statute; and

WHEREAS, copies of such notices required to be recorded, if any, have been recorded in the Office of the Recorder of Cook County; and

WHEREAS, all petitions, documents, and other necessary legal requirements are in full compliance with the terms of the annexation agreement and state law; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, have determined that it is in the best interest of said Village and its residents that the territory be annexed to the Village; and

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: That the Village hereby incorporates all of the recitals above into this Ordinance as if fully set forth herein.

SECTION 2: That the following territory described be and is hereby annexed to the Village of Tinley Park, Cook and Will Counties, Illinois pursuant to 65 ILCS 5/7-1-1 and 65 ILCS 5/7-1-8:

LEGAL DESCRIPTION

Parcel 1 & 2: LOTS 7 AND 8 (EXCEPT THE WEST 430 FEET OF SAID LOTS) IN BLOCK 2 IN ELMORE'S HARLEM AVENUE ESTATES, BEING A SUBDIVISION OF THE WEST HALF OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

P.I.N. 28-31-105-015-0000 (PART OF LOT 7) AND 28-31-105-018-0000 (PART OF LOT 8)

COMMONLY KNOWN AS: 6864 179th Street

Together with any adjacent street or highway required by law to be annexed pursuant to the provisions of 65 ILCS 5/7-1-1 and 65 ILCS 5/7-1-8.

The annexation of the above-described territory shall extend to the far side of any adjacent highway and shall include all of every highway within said territory.

SECTION 3: That the Village Clerk is hereby directed to record with the Recorder's Office of Cook County and to file with the Cook County Clerk a certified copy of this Ordinance, together with the accurate map of the territory annexed appended to this Ordinance.

SECTION 4: That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 1st day of June, 2021.	
AYES:	
NAYS: ABSENT:	
ABSERT.	
APPROVED THIS 1st day of June, 2021.	
	VILLAGE PRESIDENT
ATTEST:	
VILLAGE CLERK	

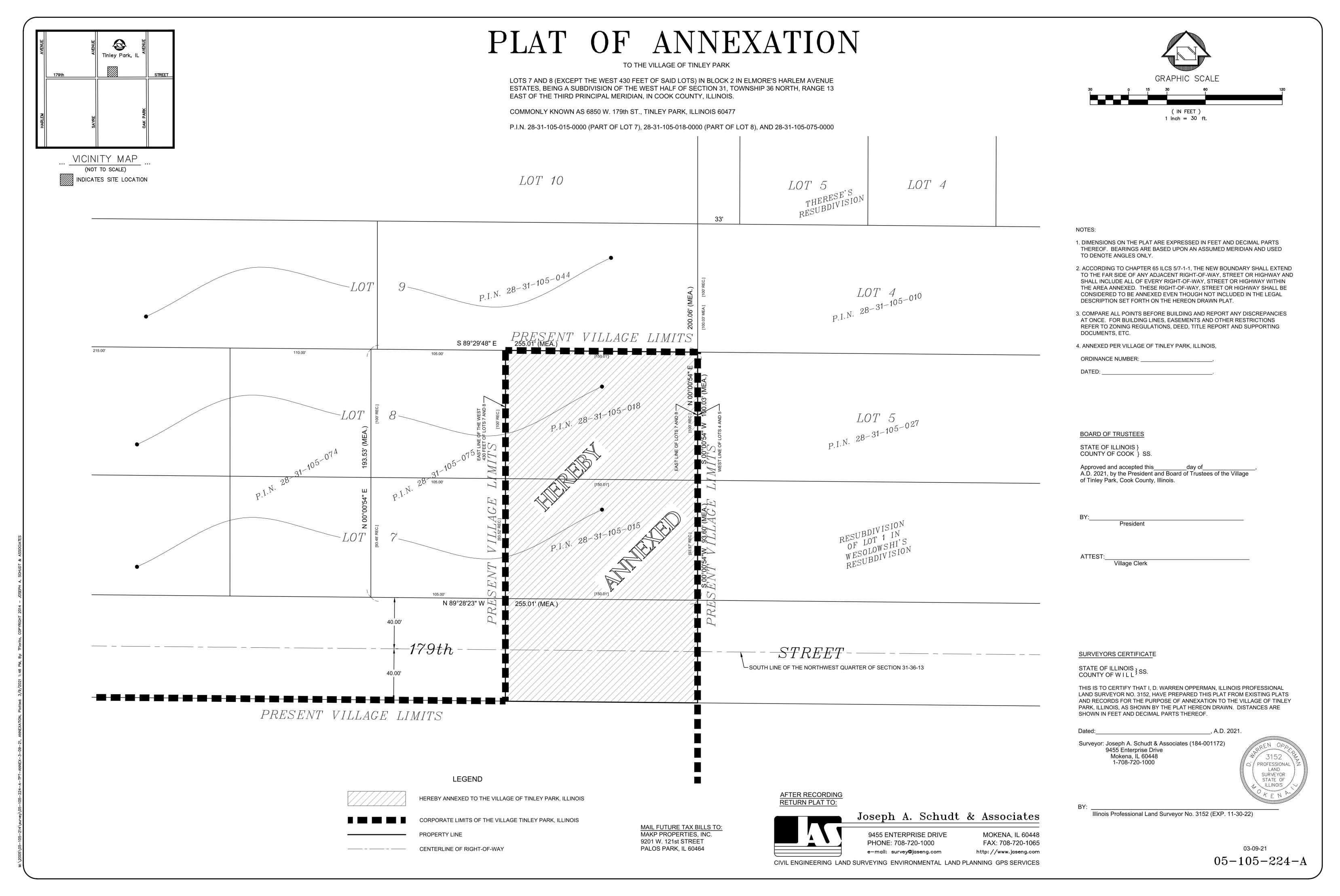
STATE OF ILLINOIS)	
COUNTY OF COOK)	SS
COUNTY OF WILL	j	

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2021-O-023, "AN ORDINANCE APPROVING THE ANNEXATION OF A PARCEL OF PROPERTY COMMONLY LOCATED AT 6864 179TH STREET TO THE VILLAGE OF TINLEY PARK" which was adopted by the President and Board of Trustees of the Village of Tinley Park on June 1, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of June, 2021.

KRISTIN A. THIRION, VILLAGE CLERK



Cook County, Illinois Will County, Illinois

ORDINANCE NO.2021-O-024

AN ORDINANCE APPROVING A MAP AMENDMENT TO REZONE CERTAIN REAL PROPERTY FROM R-1 (SINGLE FAMILY RESIDENTIAL) TO R-6 (MEDIUM DENSITY RESIDENTIAL) FOR PROPERTY LOCATED AT 6864 & 6900 179TH STREET

(MARIA POULOS, ON BEHALF OF MAKP PROPERTIES, INC., PETITIONER)

MICHAEL W. GLOTZ, PRESIDENT KRISTIN A. THIRION, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys 200 W. Adams, Suite 2125 Chicago, IL 60606

Cook County, Illinois Will County, Illinois

ORDINANCE NO. 2021-O-024

AN ORDINANCE APPROVING A MAP AMENDMENT TO REZONE CERTAIN REAL PROPERTY FROM A R-1 (SINGLE FAMILY RESIDENTIAL) TO R-6 (MEDIUM DENSITY RESIDENTIAL) FOR PROPERTY LOCATED AT 6864 & 6900 179TH STREET

(MARIA POULOS, ON BEHALF OF MAKP PROPERTIES, INC., PETITIONER)

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, a petition for granting a map amendment of certain real property from the R-1 (Single Family residential) zoning district to R-6 (Medium Density Residential) ("Rezoning") located at 6864 & 6900 179th Street, Tinley Park, Illinois 60477 ("Subject Property") to construct 12 Townhome dwelling units in two residential structures has been filed by Maria Poulos, on behalf of MAKP Properties, INC., ("Petitioner") with the Village Clerk of this Village and has been referred to the Plan Commission of the Village and has been processed in accordance with the Tinley Park Zoning Ordinance; and

WHEREAS, said Plan Commission held a public hearing on the question of whether the Rezoning should be granted on April 15, 2021 at the Village Hall of this Village and by teleconference per Gubernatorial Executive Order 2020-18 and the "Village of Tinley Park Temporary Public Participation Rules & Procedures",, at which time all persons present were afforded an opportunity to be heard; and

WHEREAS, public notice in the form required by law was given of said public hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said public hearing in the Daily Southtown, a newspaper of general circulation within the Village of Tinley Park; and

WHEREAS, the Plan Commission vote 7-0 and has filed its report and findings and recommendations that the proposed Rezoning be approved with this President and Board of Trustees, and this Board of Trustees has duly considered said report of findings and recommendations; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Rezoning; and

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

SECTION 2: That the report of findings and recommendations of the Plan Commission are herein incorporated by reference as the findings of this President and the Board of Trustees, as complete as if fully set forth herein at length. This Board finds that the Petitioner has provided evidence establishing that they have met the standards for granting a Rezoning as set forth below and the proposed granting of the Rezoning as set forth herein is in the public good and in the best interest of the Village and its residents and is consistent with and fosters the purpose and spirit of the Tinley Park Zoning Ordinance.

- a. The existing uses and zoning of nearby property;
 - The proposed R-6 zoning district is consistent with the development pattern of the area.
- b. The extent to which property values are diminished by the particular zoning;
 - The proposed zoning district will keep the property residential in nature, similar to the surrounding uses and zoning districts. The proposed development has exceeded landscape bufferyard requirements along the east and west property lines which are adjacent to existing residential developments. A six-foot fence will also be provided along the east and west property lines. The proposed development meets site and architectural standards.
- e. The extent to which the destruction of property values of the complaining party benefits the health, safety, or general welfare of the public;
 - The proposed development will provide road improvements for 179th Street including an extension of the sidewalk and will add to the property tax base of the Village and other taxing districts.
- d. The relative gain to the public as compared to the hardship imposed on the individual property owner;
 - The proposed development meets site and architectural standards. Bufferyard requirements have been exceeded along the east and west property lines. The proposed development will provide road improvements for 179th Street including an extension of the sidewalk. The development involves the annexation of property and will increase the EAV for the property and subsequently the tax revenue generated by the subject property.

- e. The suitability of the property for the zoned purpose;
 - The proposed use is consistent with development in the area and the Comprehensive Plan.
- f. The length of time the property has been vacant as zoned, compared to development in the vicinity of the property;
 - The lot has been vacant under its current zoning designation. Recent development has occurred on property zoned R-6 to the east of the subject parcels.
- g. The public need for the proposed use; and
 - There is a demand for quality attached single family homes in the area and is consistent with the overall goals of the adjacent Legacy District.
- h. The thoroughness with which the municipality has planned and zoned its land use.
 - The Village adopted the Legacy Plan in 2009 and the Legacy Code in 2011 which involves property immediately adjacent to the subject property. The property is identified as Mixed Use in the 2000 Comprehensive Plan. The Village's Zoning Ordinance also recently adopted site and architectural guidelines that assisted in the review of the proposed development and help to ensure a quality project.

SECTION 3: The Rezoning as set forth herein below shall be applicable to the following described property:

LEGAL DESCRIPTION:

Parcel 1 & 2: LOTS 7 AND 8 (EXCEPT THE WEST 430 FEET OF SAID LOTS) IN BLOCK 2 IN ELMORE'S HARLEM AVENUE ESTATES, BEING A SUBDIVISION OF THE WEST HALF OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

P.I.N. 28-31-105-015-0000 (PART OF LOT 7) AND 28-31-105-018-0000 (PART OF LOT 8) COMMONLY KNOWN AS: 6864 179th Street

Parcel 3: THE EAST 105 FEET OF THE WEST 430 FEET OF LOTS 7 AND 8 IN BLOCK 2 IN ELMORE'S HARLEM AVENUE ESTATES, BEING A SUBDIVISION OF THE WEST HALF OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

P.I.N. 28-31-105-075-0000

COMMONLY KNOWN AS: 6900 179th Street

SECTION 4: That a Rezoning of the Subject Property from R-1 (Single-Family Residential) to R-6 (Medium Density Residential) ("Rezoning") for property located at 6864 & 6900 179th Street, Tinley Park, Illinois 60477,to permit the construction of two townhome structures with a total of 12 dwelling units is hereby granted to the Petitioner.

SECTION 5: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

SECTION 6: That this Ordinance shall be in full force and effect from and after its adoption and approval.

SECTION 7: That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 1st day of June, 2021.

AYES:

NAYS:

ABSENT:

APPROVED THIS 1st day of June, 2021.

VILLAGE PRESIDENT

VILLAGE CLERK

STATE OF ILLINOIS)
COUNTY OF COOK) SS
COUNTY OF WILL)

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2021-O-024, "AN ORDINANCE APPROVING A MAP AMENDMENT TO REZONE CERTAIN REAL PROPERTY FROM R-1 (SINGLE FAMILY RESIDENTIAL) TO R-6 (MEDIUM DENSITY RESIDENTIAL) FOR PROPERTY LOCATED AT 6864 & 6900 179TH STREET (MARIA POULOS, ON BEHALF OF MAKP PROPERTIES, INC., PETITIONER)" which was adopted by the President and Board of Trustees of the Village of Tinley Park on June 1, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of June, 1

KRISTIN A. THIRION, VILLAGE CLERK

Cook County, Illinois Will County, Illinois

ORDINANCE NO.2021-O-025

AN ORDINANCE GRANTING A VARIATION FOR A REAR YARD SETBACK AT CERTAIN PROPERTY LOCATED AT 17870-17881 ARGOS COURT.

MICHAEL W. GLOTZ, PRESIDENT KRISTIN A. THIRION, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park

Cook County, Illinois Will County, Illinois

ORDINANCE NO. 2021-O-025

AN ORDINANCE GRANTING A VARIATION FOR A REAR YARD SETBACK AT CERTAIN PROPERTY LOCATED AT 17870-17881 ARGOS COURT.

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, a petition has been filed with the Village Clerk of this Village and has been processed in accordance with the Tinley Park Zoning Ordinance by Maria Poulos, on behalf of MAKP Properties, INC., ("Petitioner") to grant a variation for a rear yard setback of 14.88 to 16.41 feet along the north property line where the required setback is 30 feet, to allow a rear yard setback ranging from 13.59 feet to 15.12 feet; and

WHEREAS, said Plan Commission held a public hearing on the question of whether the Variation should be granted on April 15, 2021 at the Village Hall and by teleconference per Gubernatorial Executive Order 2020-18 and the "Village of Tinley Park Temporary Public Participation Rules & Procedures", at which time all persons were afforded an opportunity to be heard; and

WHEREAS, public notice in the form required by law was given of said public hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said public hearing in the Daily Southtown, a newspaper of general circulation within the Village of Tinley Park; and

WHEREAS, the Plan Commission vote 7-0 and has filed its report and findings and recommendations that the proposed Variation be approved with this President and Board of Trustees, and this Board of Trustees has duly considered said report of findings and recommendations; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Variation; and

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of facts as if said recitals were fully set forth herein.

SECTION 2: That the report of findings and recommendations of the Plan Commission are herein incorporated by reference as the findings of this President and the Board of Trustees, as complete as if fully set forth herein at length. This Board finds that the Petitioner has provided evidence establishing that they have met the standards for granting the Variation as set forth in Section X.G.4 of the Zoning Ordinance, and the proposed granting of the Variation as set forth herein is in the public good and in the best interest of the Village and its residents and is consistent with and fosters the purpose and spirit of the Tinley Park Zoning Ordinance.

Section X.G.4. of the Zoning Ordinance states the Plan Commission shall not recommend a Variation of the regulations of the Zoning Ordinance unless it shall have made Findings of Fact, based upon the evidence presented for each of the Standards for Variations listed below. The Plan Commission must provide findings for the first three standards.

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the district in which it is located.

While the property can develop under the regulations in the district, the proposed development functions as a side yard where the legal rear yard is required. The functional rear yard of the proposed units are the actual side yards and have been provided yards that exceed the rear yard setback.

2. The plight of the owner is due to unique circumstances.

The plight of the owner is unique in that the orientation of the buildings has yards that function as side yards are front and rear yards by definition. The defined rear yard is adjacent to an undevelopable parcel with existing vegetation that helps to mitigate the loss of the rear yard setback.

3. The Variation, if granted, will not alter the essential character of the locality.

The loss of the rear yard setback will not alter the essential character of the locality due to the existence of vegetation along the north property line and the additional landscaping provided along the east and west property lines that serve as a buffer to existing property owners.

SECTION 3: That the Variation as set forth herein below shall be applicable to the following described property

LEGAL DESCRIPTION:

Parcel 1 & 2: LOTS 7 AND 8 (EXCEPT THE WEST 430 FEET OF SAID LOTS) IN BLOCK 2 IN ELMORE'S HARLEM AVENUE ESTATES, BEING A SUBDIVISION OF THE WEST

HALF OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

P.I.N. 28-31-105-015-0000 (PART OF LOT 7) AND 28-31-105-018-0000 (PART OF LOT 8) COMMONLY KNOWN AS: 6864 179th Street

Parcel 3: THE EAST 105 FEET OF THE WEST 430 FEET OF LOTS 7 AND 8 IN BLOCK 2 IN ELMORE'S HARLEM AVENUE ESTATES, BEING A SUBDIVISION OF THE WEST HALF OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

P.I.N. 28-31-105-075-0000

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COMMONLY KNOWN AS: 6900 179th Street

SECTION 4: That the following Variation is hereby granted to the Petitioner at the above-mentioned property in the R-6(Medium Density Residential) Zoning District.

1. A Variation from Section V.B. Schedule II. (Schedule of District Requirements) to permit rear yard setbacks ranging from 13.59 feet to 15.12 feet. when a 30 foot rear yard setback is required in accordance with the plans presented with the April 15, 2021 Staff Report.

SECTION 5: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Ordinance shall be and is hereby repealed to the extent of such conflict.

SECTION 6: That this Ordinance shall be in full force and effect from and after its adoption and approval.

SECTION 7: That the Village Clerk is hereby ordered and directed to publish this Ordinance in pamphlet form, and this Ordinance shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 1st day of June, 2021.	
AYES:	
NAYS:	
ABSENT:	
APPROVED THIS 1st day of June, 2021.	
A TITLE OF	VILLAGE PRESIDENT
ATTEST:	
VILLAGE CLERK	

STATE OF ILLINOIS)	
COUNTY OF COOK)	SS
COUNTY OF WILL	j	

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2021-O-025, "AN ORDINANCE GRANTING A VARIATION FOR A REAR YARD SETBACK AT CERTAIN PROPERTY LOCATED AT 17870-17881 ARGOS COURT." which was adopted by the President and Board of Trustees of the Village of Tinley Park on June 1, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of June, 2021.

KRISTIN A. THIRION, VILLAGE CLERK

Cook County, Illinois Will County, Illinois

RESOLUTION NO.2021-R-040

A RESOLUTION APPROVING AND ACCEPTING A FINAL PLAT OF SUBDIVISION FOR SUNSET ESTATES SUBDIVISION (6864 and 6900 179th Street)

MICHAEL W. GLOTZ, PRESIDENT KRISTIN A. THIRION, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

Cook County, Illinois Will County, Illinois

RESOLUTION NO. 2021-R-040

A RESOLUTION APPROVING AND ACCEPTING A FINAL PLAT OF SUBDIVISION FOR SUNSET ESTATES SUBDIVISION (6864 and 6900 179th Street)

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the Village of Tinley Park ("Village") has considered the Plat of Subdivision for Sunset Estates Subdivision ("Plat") pertaining to certain real property located at 6864 & 6900 179th Street Tinley Park, Illinois 60477 ("Subject Property"), a true and correct copy of which is attached hereto and made a part hereof as <u>Exhibit 1</u>; and

WHEREAS, said Plat, was referred to the Plan Commission of the Village and has been processed in accordance with the Village of Tinley Park Zoning Ordinance; and

WHEREAS, the Plan Commission reviewed the proposed Plat on April 1 & April 15, 2021, at public meetings including a public hearing on April 15, 2021, at which time all persons were afforded an opportunity to be heard; and

WHEREAS, the Plan Commission voted 7-0 in favor to recommend that said Plat be approved; and

WHEREAS, the Plan Commission of this Village has filed its report of findings and recommendations that the proposed Plat be approved by this President and Board of Trustees, and this Board of Trustees has duly considered said report of findings and recommendations; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interest of the Village of Tinley Park and its residents to approve said Plat; and

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: That the report and findings and recommendations of the Plan Commission of this Village are herein incorporated by reference as the findings of this Board of Trustees, as completely, as if fully recited herein at length.

SECTION 2: That the President and Board of Trustees of the Village of Tinley Park, hereby approve and accept said Plat, attached hereto as <u>Exhibit 1</u>, and all necessary Village Officials and staff are hereby authorized to execute said Plat prior to final recording, subject to review and revision as to form by the Village Attorney and Village staff.

SECTION 3: Any policy, resolution, or ordinance of the Village that conflicts with the provisions of this Resolution shall be and is hereby repealed to the extent of such conflict.

SECTION 4: That this Resolution shall be in full force and effect from and after its adoption and approval.

SECTION 5: That the Village Clerk is hereby ordered and directed to publish this Resolution in pamphlet form, and this Resolution shall be in full force and effect from and after its passage, approval, and publication as required by law.

PASSED THIS 1st day of June, 2021.

,	
AYES:	
NAYS:	
ABSENT:	
APPROVED THIS 1st day of June, 2021.	
	VILLAGE PRESIDENT
ATTEST:	
VILLAGE CLERK	
VILLAGE CLEKK	

STATE OF ILLINOIS)	
COUNTY OF COOK)	SS
COUNTY OF WILL	j	

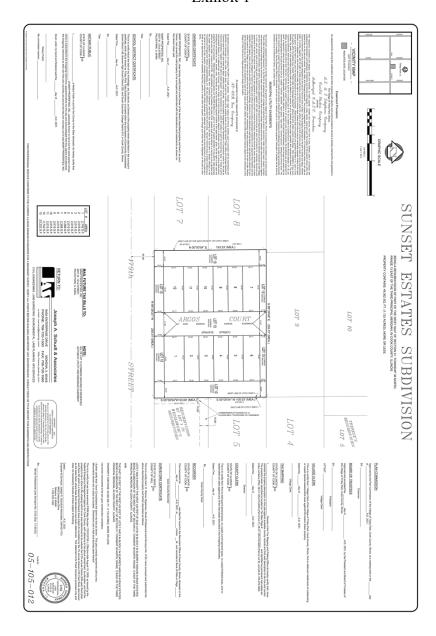
CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2021-R-040, "A RESOLUTION APPROVING AND ACCEPTING A FINAL PLAT OF SUBDIVISION FOR SUNSET ESTATES SUBDIVISION," which was adopted by the President and Board of Trustees of the Village of Tinley Park on June 1, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of June, 2021.

KRISTIN A. THIRION, VILLAGE CLERK

Exhibit 1



THE VILLAGE OF TINLEY PARK

Cook County, Illinois Will County, Illinois

RESOLUTION NO. 2021-R-049

A RESOLUTION APPROVING TERMINATION OF THE AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND CHICAGO SOUTHLAND CONVENTION AND VISITORS BUREAU

MICHAEL W. GLOTZ, PRESIDENT KRISTIN A. THIRION, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park
Peterson, Johnson, & Murray Chicago, LLC, Village Attorneys
200 W. Adams, Suite 2125 Chicago, IL 60606

VILLAGE OF TINLEY PARK

Cook County, Illinois Will County, Illinois

RESOLUTION NO. 2021-R-049

A RESOLUTION APPROVING TERMINATION OF THE AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND CHICAGO SOUTHLAND CONVENTION AND VISITORS BUREAU

WHEREAS, Section 6(a) of Article VII of the 1970 Constitution of the State of Illinois provides that any municipality which has a population of more than 25,000 is a home rule unit, and the Village of Tinley Park, Cook and Will Counties, Illinois, with a population in excess of 25,000 is, therefore, a home rule unit and, pursuant to the provisions of said Section 6(a) of Article VII, may exercise any power and perform any function pertaining to its government and affairs, including, but not limited to, the power to tax and to incur debt; and

WHEREAS, the Village of Tinley Park ("Village") entered into a Tourism and Hotel Tax Agreement ("Agreement") with the Chicago Southland Convention and Visitors Bureau ("CSCVB") on April 19, 1994, attached hereto as **Exhibit 1**; and

WHEREAS, the President and Board of Trustees of the Village of Tinley Park believe and hereby declare that it is in the best interests of the Village and its residents to terminate the Agreement between the Village of Tinley Park and CSCVB;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF TINLEY PARK, COOK AND WILL COUNTIES, ILLINOIS, STATE AS FOLLOWS:

SECTION 1: The foregoing recitals shall be and are hereby incorporated as findings of fact as if said recitals were fully set forth herein.

SECTION 2: The President and Board of Trustees hereby approve the termination of the Agreement attached hereto as <u>Exhibit 1</u>.

SECTION 3: The Village President and/or Village Manager are hereby authorized to provide written notice to CSCVB that said Agreement will be terminated, effective 90-days after said notice is received.

SECTION 4: Any policy, resolution or ordinance of the Village that conflicts with the provisions of this ordinance shall be and is hereby repealed to the extent of such conflict.

SECTION 5: This Resolution shall be in full force and effect from and after its passage and approval in the manner provided by law.

PASSED THIS day of June, 2021.	
AYES:	
NAYS:	
ABSENT:	
APPROVED THIS day of June, 2021.	
ATTEST:	VILLAGE PRESIDENT
VILLAGE CLERK	

STATE OF ILLINOIS)	
COUNTY OF COOK)	SS
COUNTY OF WILL)	

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2021-R-021, "A RESOLUTION APPROVING TERMINATION OF THE AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND CHICAGO SOUTHLAND CONVENTION AND VISITORS BUREAU," which was adopted by the President and Board of Trustees of the Village of Tinley Park on this 1st day of June, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of June, 2021.

KRISTIN A. THIRION, VILLAGE CLERK

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TMB:ajh 4/15/94

ORDINANCE NO. 94-0-018

ORDINANCE AMENDING TITLE XI OF THE TINLEY PARK MUNICIPAL CODE BY ADDING A NEW CHAPTER 128 - HOTEL ACCOMMODATIONS TAX

whereas, the Chicago Southland Convention and Visitors Bureau, an Illinois not-for-profit corporation, has been established to promote tourism and conventions in Cook and Will Counties, Illinois; and

whereas, the Village of Tinley Park is a home rule municipality.

Be It Ordained by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, pursuant to the Village's Home Rule powers as provided by Article VII, Section 6 of the 1970 <u>Illinois Constitution</u>, as follows:

<u>Section 1</u>: That Title XI of the Tinley Park Municipal Code be and is hereby amended by adding a new Chapter 128 entitled "Hotel Accommodations Tax" reading in its entirety as follows:

§ 128.01 TITLE.

This Chapter is being adopted pursuant to the home rule authority of this Village. This Chapter shall be known and cited as the "Hotel Accommodations Tax Ordinance" and the tax herein imposed shall be known and cited as the "Hotel Accommodations Tax."

§ 128.02 DEFINITIONS AND CONSTRUCTION.

- (A) For the purpose of this Chapter, whenever any of the following words, terms or definitions are used herein, they shall have the following meaning:
 - (1) Village: The Village of Tinley Park
 - (2) Treasurer: The Treasurer of the Village of Tinley Park
 - (3) Hotel Accommodations: A room or rooms in any building or structure located in the Village and kept, used or maintained as or advertised or held out to the public to be an inn, motel, hotel, apartment hotel, lodging house, bed and breakfast lodge or home, dormitory or place where sleeping, rooming, conference or exhibition accommodations are furnished for lease or rent, whether with or without meals, in which ten (10) or more such accommodations are used or maintained for guests, lodgers or roomers. The term "Hotel Accommodations" does not include an accommodation which a person occupies, or has the right to occupy, as his domicile and permanent residence.

- (4) Person: Any natural person, receiver, administrator, executor, conservator, assignee, trust in perpetuity, trust, estate, firm, general or limited partnership, joint venture, club, company, business trust, domestic or foreign corporation, association, syndicate, society, or any group of individuals acting as a unit, whether mutual, cooperative, fraternal, for profit, nonprofit or otherwise. Whenever the term "Person" is used in any clause prescribing and imposing a penalty, the term as applied to corporations shall include the officers thereof, and as applied to any other entity, the owners or part-owners thereof.
- (5) In this Chapter, unless the context otherwise requires, words in the singular number include the plural and in the plural include the singular; words of the masculine gender include the feminine and the neuter; and when the sense so indicates, words in the neuter gender may refer to any gender.

§ 128.03 TAX IMPOSED.

There is hereby imposed and shall accrue, as set forth herein, and be collected a tax, as herein provided, upon the renting, leasing or letting of any Hotel Accommodations in the Village at the rate of three percent (3%) of the gross rental or leasing charges and revenues, exclusive of revenues received from food and beverage sales.

§ 128.04 TAX BORNE BY LESSEE.

The ultimate incidence of and liability for payment of said tax shall be borne by the user, lessee or tenant of such Hotel Accommodations. The tax herein levied shall be in addition to any and all other taxes. It shall be the duty of every owner, manager or operator of Hotel Accommodations to secure said tax from the lessee or tenant of said Hotel Accommodations and pay over to the Treasurer said tax under rules and regulations prescribed by the Treasurer and as otherwise provided by this Chapter.

§ 128.05 COLLECTION.

The Village Treasurer is hereby designated as the administration and enforcement officer of the tax hereby imposed on behalf of the Village. The owner, manager or operator of each Hotel Accommodations shall bear, jointly and severally, the duty to collect the tax herein levied from each user, lessee or tenant of any Hotel Accommodations when collecting the price, charge or rent to which it applies. Every lessee or tenant shall be given a bill, invoice, receipt or other statement or memorandum of the price, charge or rent payable upon which the Hotel Accommodations tax shall be stated, charged and shown separately. The tax shall be paid to the person required to collect it as trustee for and on behalf of the Village. The Hotel Accommodations tax, once collected, shall be paid to the Treasurer on a monthly basis. The tax shall be due on or before the 15th day of the calendar month succeeding the month in which it was imposed.

§ 128.06 PAYMENT AND LATE CHARGES.

- (A) By the fifteenth (15th) day of each calendar month, every owner, manager or operator of Hotel Accommodations shall file a sworn tax return on a calendar monthly basis with the Treasurer showing tax receipts received with respect to Hotel Accommodations space used, rented or leased during the preceding monthly period, upon forms prescribed by the Treasurer. At the time of filing said tax return, the owner, manager or operator of Hotel Accommodations shall pay to the Treasurer all taxes due for the period to which the tax return applies.
- (B) If for any reason any tax is not paid when due, a late charge at the rate of five percent (5%) on the amount of tax which remains unpaid shall be added and collected. In addition, in the event of failure by any Hotel Accommodations owner, manager or operator to collect and pay to the Village Treasurer the tax required hereunder within ten (10) days after the same shall be due, interest shall accumulate and be due upon said tax and late charge at the rate of one percent (1%) per month commencing as of the eleventh day after the tax was due. Whenever any Person shall fail to pay any tax as herein provided, or if the owner, operator or manager of any Hotel Accommodation fails to collect any such taxes, upon the request of the Treasurer the Village Attorney shall bring or cause to be brought an action to enforce the payment of said tax on behalf of the Village in any court of competent jurisdiction with the cost of such enforcement and the payment of said taxes to be borne and reimbursed by the owner, operator and/or manager of the Hotel Accommodations.

§ 128.07 RECORDS.

Every owner, manager or operator of Hotel Accommodations shall keep accurate and complete books and records showing the prices, rents or charges made or charged, and occupancies taxable under this Chapter, and any other information required by the Treasurer for the administration of this Chapter and the collection of the tax hereby imposed. At a minimum, such records shall include a daily sheet showing: (a) the number of hotel and motel rooms rented during the twenty-four (24) hour period, including multiple rentals of the same hotel or motel room when such occurs, (b) the room rate or charge, and (c) the actual Hotel Accommodations tax receipts collected for the date in question. The Treasurer, or his designee, shall at all reasonable times have full access to said books and records.

During the normal business working hours of any such Hotel Accommodations, the Village Treasurer, or any person certified by him as his deputy or representative, may enter the premises of any Hotel Accommodations for the purposes of inspection and examination of its books and records for the proper administration of this Chapter, and for the enforcement of the collection of the tax hereby imposed. It is unlawful for any person to prevent, hinder or interfere with the Village Treasurer or his duly authorized deputy or representative in the discharge of his duties hereunder.

§ 128.08 SUSPENSION OR REVOCATION OF LICENSES.

If the President, after hearing held by or for him, shall find that any Person has failed to collect the tax imposed by this Chapter, he may suspend or revoke all Village licenses, specifically including but not limited to liquor licenses held by said Person The owner, manager or operator of the Hotel Accommodations shall have an opportunity to be heard on any such suspension or revocation, and such hearing shall not be held less than five (5) days after notice of the time and place of the hearing, addressed to the owner, manager and/or operator at his or their last known place of business. In addition to the provisions set forth herein, any applicable suspension or revocation procedures set forth elsewhere in the ordinances and codes of the Village shall also apply to the extent they do not conflict with the provisions hereof; provided, however, all other procedural requirements must be met, regardless of conflict herewith, with regard to suspension or revocation of a liquor license. The suspension or revocation of any license shall not release or discharge the owner, manager or operator of Hotel Accommodations from civil liability for the payment of the tax, interest and late charges, nor for prosecution of such offense.

§ 128.09 PROCEEDS.

All proceeds resulting from the imposition of the tax under this Chapter, including penalties, shall be distributed within thirty (30) days after the 15th day of the calendar month as follows:

- (A) Pursuant to an Agreement between the Village and Chicago Southland Convention and Visitors Bureau, of the three percent (3%) Hotel Accommodations Tax collected ninety-five percent (95%) of one percent (1%) shall be paid to said Bureau for the sole purpose of promoting tourism and conventions in accordance with that Agreement.
- (B) The excess over said amount to be paid to the Bureau under subsection A above shall be retained by the Village for general corporate purposes and placed in whatever fund of the Village the Village so determines.
- (C) In the event the Village increases the tax collected pursuant to Section 3 hereof, the Bureau shall not be entitled to any increase but shall only be entitled to said ninety-five percent (95%) of one percent (1%).

§ 128.10 PENALTIES.

Any Person found guilty for violating, disobeying, omitting, neglecting, or refusing to comply with, or resisting or opposing the enforcement of any of the provisions of this Chapter, except when otherwise specifically provided, upon conviction thereof shall be punished by a fine of not less than Fifty Dollars (\$50.00) no more than Three Hundred Dollars (\$300.00) for the first offense and not less than Two Hundred Dollars (\$200.00) nor more than Five Hundred Dollars (\$500.00) for the second and each subsequent offense in any 180-day period, provided, however, that all actions seeking the imposition of fines only shall be filed as quasi-criminal actions subject to the provisions of the Illinois Civil

Practice Act. (735 ILCS 1-101 et seq.) Repeated offenses in excess of three (3) within any 180-day period may also be punishable as a misdemeanor by incarceration for a term not to exceed six months under the procedure set forth in Section 1-2-1.1 of the Illinois Municipal Code (65 ILCS 5/1-2-1.1), and under the provisions of the Illinois Code of Criminal Procedure (725 ILCS 5/100-1 et seq.). A separate and distinct offense shall be regarded as committed each day upon which each person shall continue any such violations.

§ 128.11 SEVERABILITY.

If any provision, clause, sentence, paragraph, section, or part of this Chapter, or application thereof to any Person or circumstance shall, for any reason, be adjudged by a court of competent jurisdiction to be unconstitutional or invalid, said judgment shall not affect, impair or invalidate the remainder of this Chapter and the application of such provision to other Persons or circumstances, but shall be confined in its operation to the provision, clause, sentence, paragraph, section or part thereof directly involved in the controversy in which such judgment shall have been rendered and to the Person or circumstances involved. It is hereby declared to be the legislative intent of the Village Board of Trustees that this Chapter would have been adopted had such unconstitutional or invalid provision, clause, sentence, paragraph, section or part thereof not been included.

<u>Section 2</u>: This Ordinance shall become and be effective ten (10) days after its passage, approval and publication in the manner provided by law. It is ordered that the Village Clerk publish this Ordinance in pamphlet form, said pamphlets to be deposited in the Office of the Village Clerk of the Village of Tinley Park for general distribution.

adopted this 19th day of April , 1994, by a roll call vote of the Corporate Authorities of the Village of Tinley Park as follows:

AYES: DIBERNARDO, FULTON, HANNON, REA, SEAMAN, VANDENBERG

NAYS: NONE

ABSENT: NONE

APPROVED this 19th day of April , 1994, by the

President of the Village of Tinley Park.

ATTEST:

illage President

W

illage Clerk

AGREEMENT

THIS AGREEMENT made this 19th day of April 1994, by and between the VILLAGE OF TINLEY PARK, an Illinois municipal corporation, of 16250 South Oak Park Avenue, Tinley Park, Illinois 60477, hereinafter referred to as the "Village," and CHICAGO SOUTHLAND CONVENTION AND VISITORS BUREAU, an Illinois not-for-profit corporation, 20200 Governors Drive, Suite 202, Olympia Fields, Illinois 60461, which promotes tourism in the South and Southwest Suburban Chicago Area, hereinafter referred to as the "Bureau."

WHEREAS, the Village supports the creation of the Bureau and its efforts to promote tourism and conventions in the South Suburban Area; and

WHEREAS, the Village, in recognition of the benefits of a Tourism Bureau, establishes concurrently herewith a Hotel Accommodations Tax (the "Tax") pursuant to its home rule powers to provide funding for certain activities of the Bureau; and

WHEREAS, the Village and the Bureau are desirous of incorporating the terms, provisions and conditions and establishing the rights and responsibilities of the parties hereto, relative to the funding to be provided from the Tax;

WHEREAS, this Agreement is being entered into pursuant to the intergovernmental cooperation provisions of Article VII, Section 10 of the Illinois Constitution and the home rule powers of the Village.

NOW, THEREFORE, the parties hereto in consideration of the mutual promises contained herein, do hereby agree to the following terms and conditions:

- 1. The Village adopted an ordinance (the "Ordinance") of even date herewith pursuant to its home rule powers proposing a Hotel Accommodations Tax of 3% of gross rental or lease charges (the "Tax").
- 2. Pursuant to the said Ordinance, which shall become effective on April 29, 1994 (the "Effective Date"), of the

three percent (3%) Tax to be collected the Village agrees to pay monthly to the Bureau ninety-five percent (95%) of one percent (1%) ("Proportionate Revenues") for the sole purpose of promoting tourism and conventions in the South and Southwest Suburban Area in general and the Village of Tinley Park in particular.

- 3. The Village shall pay the Proportionate Revenue's collected the previous calendar month to the Bureau within fifteen (15) days of its receipt, commencing the second calendar month after the Effective Date.
- 4. It is expressly agreed by and between the parties hereto, that the Village shall become a member of the Bureau in return for payment of the Proportionate Revenues, without any additional consideration to be paid by the Village.
- 5. The parties do further agree that the Village shall not be responsible for the payment of any additional membership fees or charges to the Bureau, except for the delivery of the Proportionate Revenues.
- 6. The Village shall be entitled to equal inclusion with other municipalities that have approved the Tax in the appropriate public advertisements, promotional materials, presentations, or other programs developed by the Bureau at no additional charge to the Village.
- 7. The Bureau does hereby expressly agree to utilize the funds provided by the Village pursuant to the Hotel Accommodations Tax only for those purposes as specified and permitted by the applicable Illinois Compiled Statutes and other related laws.
- 8. The Bureau will have the sole right to determine the appropriate use of the Proportionate Revenues provided by the Village, provided, however, all Proportionate Revenues shall be used in compliance with applicable law and the Bureau's by-laws.
- 9. The Bureau will deliver to the Village certified copies of its annual audit, within thirty (30) days of receipt by the Bureau.

- accounting of all Proportionate Revenues contributed by the Village pursuant to the Tax, and shall provide an accounting for all purposes for which the said Proportionate Revenues were expended. The Village shall have the right to require the Bureau to provide an interim accounting by the Bureau's Executive Director of all of the Proportionate Revenues provided by the Village, when it shall be deemed necessary, at the sole discretion of the Village, and said accounting shall be made within thirty (30) days from the date of written receipt by the Village to the Bureau.
- 11. The Bureau does further expressly agree to provide to the Village copies of the annual budget, program proposals and goals and objectives for the coming year, prior to their approval and the commencement of the Bureau's fiscal year.
- 12. The Bureau will further report annually to the Village within thirty (30) days of the end of the Bureau's fiscal year on the activities of the Bureau for the year, and the results of those activities in relation to the objectives and goals of the Bureau.
- 13. Neither this Agreement nor any interest of any of the parties hereto, may be assigned, pledged, or transferred in any manner, without the prior express written consent of the parties hereto.
- 14. Either party may terminate this Agreement at any time, as directed by formal action of the Board of Trustees of the Village, or by formal action of the Board of Directors of the Bureau, and notification to the other of the same, provided, however, that the termination date shall be no less than ninety (90) days after the formal notification to the other, by certified mail, return receipt requested (the "Termination Notice"). The Village's membership in the Bureau should cease upon the termination date.
- 15. This Agreement shall be binding upon and inure to the benefit of the parties hereto, and their respective successors and assigns.

IN WITNESS WHEREOF, this Agreement has been duly executed by the respective parties hereto, through their duly authorized officers, the day and year first above written.

VILLAGE OF TINLEY PARK, Cook and Will Counties, Illinois

Bv:

illage President

ATTEST:

By: Village Clerk

CHICAGO SOUTHLAND CONVENTION AND VISITORS BUREAU

By: President

5-24-93

ATTEST:

Bv:

Secretary



Date: May 14, 2021

To: Village Board

From: David Niemeyer, Village Manager

Subject: Village Lobbyist

We need to renew the annual retainer agreement (attached) with the Village Lobbyist the Rory Group. Tom Manion and Lucy Anderson have been working with the Village since June 1, 2019 on State issues including the Tinley Park Mental Health Center and County issues including helping us get \$600,000 in grants to help reconstruct County roads. They also have been working with the Village on other development issues and trying to acquire state capital projects.

The fees would remain the same, which is \$3000 per month.

At the June 1, 2021 Village Board meeting we will be asking the Board to renew this contract for a year through May 31, 2022.



THE VILLAGE OF TINLEY PARK

Cook County, Illinois Will County, Illinois

RESOLUTION NO. 2021-R-047

A RESOLUTION AUTHORIZING A PROFESSIONAL SERVICES AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND RORY GROUP, LLC

MICHAEL W. GLOTZ, PRESIDENT KRISTIN A. THIRION, VILLAGE CLERK

WILLIAM P. BRADY
WILLIAM A. BRENNAN
DIANE M. GALANTE
DENNIS P. MAHONEY
MICHAEL G. MUELLER
COLLEEN M. SULLIVAN
Board of Trustees

Published in pamphlet form by authority of the President and Board of Trustees of the Village of Tinley Park

RESOLUTION NO. 2021-R-047

A RESOLUTION AUTHORIZING A PROFESSIONAL SERVICES AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND RORY GROUP, LLC

WHEREAS, the Village of Tinley Park, Cook and Will Counties, Illinois, is a Home Rule Unit pursuant to the Illinois Constitution of 1970; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have considered entering into a Professional Services Agreement Rory Group, LLC, a true and correct copy of such Professional Services Agreement being attached hereto and made a part hereof as EXHIBIT 1; and

WHEREAS, the Corporate Authorities of the Village of Tinley Park, Cook and Will Counties, Illinois, have determined that it is in the best interests of said Village of Tinley Park that said Agreement be entered into by the Village of Tinley Park;

NOW, THEREFORE, Be It Resolved by the President and Board of Trustees of the Village of Tinley Park, Cook and Will Counties, Illinois, as follows:

Section 1: The Preambles hereto are hereby made a part of, and operative provisions of, this Resolution as fully as if completely repeated at length herein.

Section 2: That this President and Board of Trustees of the Village of Tinley Park hereby find that it is in the best interests of the Village of Tinley Park and its residents that the aforesaid "Agreement" be entered into and executed by said Village of Tinley Park, with said Agreement to be substantially in the form attached hereto and made a part hereof as **EXHIBIT 1**.

Section 3: That the President and Clerk of the Village of Tinley Park, Cook and Will Counties, Illinois are hereby authorized to execute for and on behalf of said Village of Tinley Park the aforesaid Agreement.

That this Resolution shall take effect from and after its adoption and approval. **Section 4:**

ADOPTED this 1 st day of June	e, 2021, by the Corporate Authorities of the Village of Tinley Park
a roll call vote as follows:	
AYES:	
NAYS:	
ABSENT:	
APPROVED this 1 st day of Jun	ne, 2021, by the President of the Village of Tinley Park.
ATTEST:	Village President
Denuty Village Clerk	
Deniiv viiiage Cierk	

EXHIBIT 1 AGREEMENT WITH RORY GROUP, LLC

STATE OF ILLINOIS)	
COUNTY OF COOK)	SS
COUNTY OF WILL)	

CERTIFICATE

I, KRISTIN A. THIRION, Village Clerk of the Village of Tinley Park, Counties of Cook and Will and State of Illinois, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Resolution No. 2021-R-047, "A RESOLUTION AUTHORIZING A PROFESSIONAL SERVICES AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND RORY GROUP, LLC," which was adopted by the President and Board of Trustees of the Village of Tinley Park on June 1, 2021.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Tinley Park this 1st day of June, 2021.

DEPUTY	VILLAGE CLERK	

EXHIBIT 1

A RESOLUTION AUTHORIZING A PROFESSIONAL SERVICES AGREEMENT BETWEEN THE VILLAGE OF TINLEY PARK AND RORY GROUP, LLC.

CONSULTING AGREEMENT

THIS CONSULTING AGREEMNT ("Agreement") is made and entered into by and between Rory Group, LLC, an Illinois limited liability company (the "Consultant") and the Village of Tinley Park ("VOTP") as of the 5th day of June 2021.

WHEREAS, "VOTP" wishes to obtain the benefits of Consultant's experience and know-how in connection with the operation of "VOTP"'s business; and

WHEREAS, "VOT P" wishes to engage Consultant to render consulting and advisory services as well as introductions and referrals of new sources of business to "VOTP" on the terms and conditions set forth in this Agreement; and

WHEREAS, Consultant wishes to accept such engagement upon the terms and conditions set forth in this Agreement;

NOW, THEREFORE, in consideration of the mutual promises made by each party in this Agreement and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, "VOTP" and Consultant agree as follows:

1) Consulting Services.

- a) "VOTP" hereby engages Consultant as a consultant to "VOTP", and Consultant hereby agrees to accept such engagement, upon the terms and conditions set forth in this Agreement. During the Term (as hereinafter defined) of this Agreement, Consultant shall: (1) advise and assist "VOTP" on ways to improve its operations; (2) Monitor and lobby the appropriate government officials at the State and County levels; (3) Provide the Village of Tinley Park current reports of major legislation that would affect the Village; (4) Formulate a strategy to help the Village of Tinley Park advance legislation at the State and County levels and in the private business community; (5) Coordinate and execute the strategy and provide advice on governmental and private business matters; (6) the Consultant will pursue Capitol opportunities on behalf of "VOTP" within a new Capitol Bill or a re-authorization of existing Capitol; (7) coordinate with "VOTP" to advance local and regional agenda. (8) perform such other additional services as may be assigned to Consultant from time to time by "VOTP" including, but not limited to, lobbying activities and expansion of governmental relations. (9) provide quarterly reports on activities.
- b) In performance of its duties under this Agreement, the Consultant shall report and be responsible only to the "VOTP" and/or designated representative, who shall be responsible for monitoring Consultant's work under this Agreement.
- c) In the performance of its duties under this Agreement, Consultant agrees that it will not:
 - i) negotiate or enter into any oral or written contract, agreement, or arrangement on behalf of, or in the name of "VOTP", or otherwise bind "VOTP", in any manner whatsoever;

- ii) engage in any conduct, or cause "VOTP" to engage in any conduct, which would result in "VOTP"'s breach or violation of any agreement, law, ordinance, or regulation;
- iii) sign any checks on behalf of or authorize any payments by "VOTP" in any manner whatsoever.
- d) "VOTP" acknowledges and agrees that so long as such work does not conflict with this Agreement, Consultant is free to perform work on behalf of entities other than "VOTP" (provided such work does not directly or indirectly compete with the project Company is engaged in) but shall devote sufficient time to performance of its duties under this Agreement as shall be reasonably necessary for it to effectively perform those duties and protect the interests of "VOTP".
- 2) <u>Term.</u> The term of Consultant's retention and engagement under this Agreement shall begin on June 5, 2021 and shall end on June 4, 2022.
- 3) Compensation. In consideration of all services to be performed by Consultant under this Agreement, "VOTP" agrees to pay Consultant a total fee ("Fee") of Thirty-Six Dollars (\$36,000) over a period of one year. The Fee shall be paid on a monthly basis as follows: Three Thousand Dollars (\$3,000) by the 5th day of each month. Notwithstanding the foregoing, at any time during the Term of this Agreement, Company, at its sole discretion and without prior notice to Consultant, may elect to pay the Fee in one (1) payment.
- 4) Payment of Taxes. Consultant shall be responsible for payment of all taxes arising from Consultant's engagement under this Agreement, including federal and state income taxes and any Social Security (FICA) and/or self-employment taxes. "VOTP" will not pay any unemployment compensation or workers' compensation taxes or premiums on behalf of Consultant, or any other taxes of any nature whatsoever.
- 5) Expenses. Without the prior written consent of "VOTP", Consultant shall be responsible for all out-of-pocket expenses that the Consultant incurs in performance of its duties under this Agreement. "VOTP" reserves the right to review all expenses incurred by the Consultant on "VOTP"'s behalf. If "VOTP" elects to review the expenses incurred by Consultant, Consultant shall provide "VOTP" with a detailed expense report within ten (10) days after request by "VOTP" for the same.
- 6) <u>Termination of Agreement.</u> This agreement may be terminated by "VOTP" at any time for its convenience. In such event, Consultant should be entitled to receive all compensation due to it under this agreement.

"VOTP" may terminate this agreement for cause, if, in "VOTP"s reasonable judgement, Consultant: (1) is unwilling or unable to perform its duties or obligations pursuant to this Agreement, (2) Commits any dishonest, fraudulent or grossly negligent act in its capacity as a Consultant to "VOTP" or engages in any other conduct that casts "VOTP" in a bad light by association, (3) in bad faith acts in a manner materially inconsistent with the best interests of "VOTP", or, (4) otherwise breaches this Agreement, (any of the above acts or omissions

herein after referred to as "Breach"), and does not cure such Breach to "VOTP"s reasonable satisfaction within ten (10) days of receipt of written notices thereof from "VOTP". In the event this Agreement is terminated for cause, Consultant should not be entitled to any further compensation.

- 7) Independent Contractor. It is understood that while this Agreement is in effect, Consultant is an independent contractor and not an employee of "VOTP", and that this Agreement is not an employment agreement. Consultant shall not be deemed an employee, agent, partner, or joint venture of "VOTP"; and "VOTP" shall not exercise any control or supervision with respect to Consultant's services, except to the extent that "VOTP" may provide specifications, descriptions, time schedules, and goals for projects and exercise the right to evaluate Consultant's work product provided under this Agreement.
- 8) **Non-Disclosure.** Consultant acknowledges that in the course of the Term of this Agreement, Consultant will have access to confidential information of "VOTP". Acc ordingly, Consultant agrees that it will not at any time, without the express prior written consent of the President of "VOTP":
 - a) disclose, directly or indirectly, any confidential information to anyone outside the employ of "VOTP", except as may be reasonably necessary or appropriate in connection with the performance of its duties under this Agreement; or
 - b) use, directly or indirectly, any confidential information for the benefit of anyone other than "VOTP".
- 9) <u>Indemnification</u>. "VOTP" shall indemnify Consultant from any and all liability, expenses, and costs (including reasonable attorney's fees) resulting, directly or indirectly, from any non-compliance or breach of the terms of this Agreement by "VOTP". Additionally, Consultant shall indemnify "VOTP" from any and all liability, expenses, and costs (including reasonable attorney's fees) resulting, directly or indirectly, from any non-compliance or breach of the terms of this Agreement by Consultant.
- 10) **Notices.** All notices shall be given to the parties at the addresses set forth below, unless otherwise directed in writing. All payments by "VOTP" shall be made to Consultant at Consultant's address set forth below unless otherwise directed in writing.

To Company: The Village of Tinley Park

ATTN: Mr. Dave Niemeyer, Village Manager

16250 S. Oak Park Tinley Park, IL 60477

To Consultant: Rory Group, LLC

ATTN: Thomas A. Manion, Jr. 212 W. Washington St., Unit 1904

Chicago, IL 60606

Facsimile: (312) 726-1405

Thomas R. Raines, Attorney at Law, LLC ATTN: Thomas R. Raines, Esq. 815 W. Van Buren St., Suite 204 Chicago, IL 60607

Facsimile: (312) 226-1164

All notices, requests, consents, and other communications under this Agreement shall be in writing and shall be deemed to have been delivered on the date personally delivered or on the date deposited in the United States Postal Service, postage prepaid, by certified mail, return receipt requested.

11) Assignability. Neither party shall assign any of its rights or obligations under this Agreement to any other person or entity without the prior written consent of the non-assigning party. This Agreement shall bind and inure to the benefit of the parties hereto and their successors and assigns.

12) Miscellaneous.

- a) This Agreement constitutes the entire agreement of Consultant and "VOTP" with respect to the subject matter of this Agreement and supersedes all prior oral or written agreements between the parties in their entirety and may not be modified or amended in any way except in writing by both parties to this Agreement. All covenants, promises, and agreements set forth in the Agreement shall be binding, any apply to and inure to the benefit of the parties hereto, and their respective heirs, executors, administrators, successors, and assigns.
- b) The terms of this Agreement shall be governed and construed according to the laws of the State of Illinois without regard to that state's principles regarding choice of law.
- c) If any part or parts of this Agreement are invalid or unenforceable for any reason, the remaining parts shall nevertheless be valid and enforceable.
- d) Any party's failure to enforce any of the provisions of this Agreement shall not be construed to be a waiver of such provision or of the right of that party to enforce that provision at any time thereafter. No waiver of any breach of this Agreement shall be effective unless it is writing.

(Signature page follows)

IN WITNESS WHEREOF, the parties hereto, intending to be legally bound, execute this Consulting Agreement as of the date set forth herein.

CONSULTANT:	COMPANY:	
Rory Group, LLC	Village of Tinley Park	
Ву:	Ву:	
Name:	Name:	
Гitle:	Title:	

STAFF COMMENT

BOARD COMMENT

PUBLIC COMMENT

EXECUTIVE SESSION

ADJOURN TO EXECUTIVE SESSION TO DISCUSS:

- A. THE APPOINTMENT, EMPLOYMENT, COMPENSATION, DISCIPLINE, PERFORMANCE, OR DISMISSAL OF SPECIFIC EMPLOYEES OF THE PUBLIC BODY OR LEGAL COUNSEL FOR THE PUBLIC BODY, INCLUDING HEARING TESTIMONY ON A COMPLAINT LODGED AGAINST AN EMPLOYEE OF THE PUBLIC BODY OR AGAINST LEGAL COUNSEL FOR THE PUBLIC BODY TO DETERMINE ITS VALIDITY.
- B. COLLECTIVE NEGOTIATING MATTERS BETWEEN THE PUBLIC BODY AND ITS EMPLOYEES OR THEIR REPRESENTATIVES, OR DELIBERATIONS CONCERNING SALARY SCHEDULES FOR ONE OR MORE CLASSES OF EMPLOYEES.
- C. THE PURCHASE OR LEASE OF REAL PROPERTY FOR THE USE OF THE PUBLIC BODY, INCLUDING MEETINGS HELD FOR THE PURPOSE OF DISCUSSING WHETHER A PARTICULAR PARCEL SHOULD BE ACQUIRED.